



COMMITTEE WORKSHOP MEETING
Wednesday November 19th, 2025

7:00 P.M.

DRAFT AGENDA

Call to Order

Public Comment

Presentation

Recognition of Long-Term Employees – James ‘Pat’ Smith (20yrs) and Kenneth ‘Jim’ Riggins (15yrs).

Mr. Smith and Mr. Riggins have been employed with Jenkintown Borough for 20 years and 15 years, respectively. Both are valued employees who continually do an exceptional job while taking great pride in their work. Each day they strive to keep the Borough infrastructure, properties, and open spaces in the best possible and safest conditions.

Reports

- Jenkintown Fire Department
- Second Alarmers
- Police Department
- Public Works Department
- Engineer Report

Public Works - New Business/Items for Discussion

- Proposed 2026 Borough Road Paving Project – Cedar Street (Washington Lane to Summit Avenue) and Harper Avenue (Full Length)
Motion: *move to full Council for approval of the 2026 Borough Road Paving Project on to include the roads presented.*
- 2025 PECO Green Region Grant - \$10,000 requested for Cedar Street Moretti Park improvements. Final items include lighting, mosaic seating wall and park sign.
Motion: *move to full Council Resolution 2025-22 - submittal of the 2025 PECO Green Region Grant application requesting funding in the amount of \$10,000.*
- Parking Inventory – Parking evaluation of on and off-street inventory being performed by the Borough Traffic Engineer. Staff have provided requested information to the Engineer finalizing the inventory. (precursor to parking study)
- Parking Study – Staff met with MONTCO Planner and Borough Engineer. MONTCO Planner will be performing the parking study as part of the planning agreement the Borough has with MONTCO planning department. A public meeting will be scheduled to discuss the parking study process prior to the project beginning.

Public Works - Ongoing Business

- 2025 Borough Road Paving Project Completed
(West Avenue - Florence to SEPTA. PennDOT project closeout filing (MS-999) taking place.
- Curbside Leaf Collection Program Commenced
October 27th curbside collection of leaves began. All five leaf routes have been completed once and collection will continue to December 18th.
- Cedar Street Moretti Park – Moretti family plaque. **no update.**
- 2025 PECO Gas Main Replacement Project – Homestead, Cottman Street & West Avenue
(Regulator station has been decommissioned and removed, mains and services have been completed, trench repair is proposed to take place prior to winter weather.)
- PECO utility poles are being replaced throughout the Borough. Restoration work planned to be completed within 30 days of pole replacement.
- ARLE Grant Application – Proposed Traffic Count and Timing of York Road Traffic Signals
(Estimated project cost of \$101,960.00 with NO Local Fund Match required) **no update.**
- MONTCO 2040 Implementation Grant awarded to Jenkintown Borough on May 15th in the amount of \$250,000. (Borough Wide Pedestrian Safety and Traffic Calming Improvements, Construction expected 2026) Engineer is working to complete plans of affected intersections.
- PA Small Water Grant - Sanitary Sewer Meter Replacement / Repairs
(Sewer Meters, Main Cleaning/Televising) - Grant application was submitted **no update.**
- DCED – Flood Mitigation Program Grant - Shoemaker Avenue at Leedom Street
Grant application was submitted **no update.**
- Noble Bridge Replacement PennDOT – Septa Project **no update.**

Public Safety - New Business/Items for Discussion

- Fire Department – coordination is ongoing to establish a program of onboarding and annual physicals for active-duty Fire Personnel. Quotes have been obtained for budgeting purposes.
- Holiday Giving Drive – Victim Services Center of Montgomery County, PA
Jenkintown Borough will serve as a drop-off location. A list of ideas for donations is available on the Borough website and at Borough Hall.
- Chapter 172 Vehicles and Traffic - Ordinance 2025-4 Parking Regulation Revisions
Motion: *move to full Council, permission to advertise Ordinance 2025-4 making minor language revisions to Chapter 172 Vehicles and Traffic as provided.*
- SPS Technologies – Abington Township approved text amendments that will also affect the SPS rebuild project in relation to land development and zoning processes.
- Proposed Stop Sign – Cloverly and Rodman Avenues.
PennDOT warrant standards are not met. Additional information has now been collected.
- Proposed Stop Sign – Cherry and Johnson Street
Currently East bound Cherry Street does not have a stop sign and it is confusing for drivers and pedestrians.
- Road Closure / Block Party Permits – Revised permit application to address common issues.

Public Safety - Ongoing Business

- Updated Parking Regulatory and Informational Signage – Installation of signage continues. The new signs clearly define the regulations within the various parking zones.
- Truck Traffic / Vehicle Concerns and Ordinance – Revised List of Streets.
- Public Parking Lot Signage – Parking Directional Signs Have Been Installed per plan.
- Traffic Light Upgrade Runnymede and Walnut Street
(Right of Way Discussions w/ Affected Property Owners being coordinated)

Administration & Finance - New Business/Items for Discussion

- Borough Monthly Reporting – November Report Provided.
- Borough Tax Collection Report – update
- ACT 511 Tax Collection – update
(BPT, MCT, LST, and Non-Resident EIT)
- 2026 Borough Budget - Important Remaining Dates and Meeting Schedule
 - Wednesday, November 19, 2025 6:00 PM Budget Workshop #4
(Fourth Public Budget Meeting took place prior to the Committee meeting this evening)
 - Monday, November 24, 2025 6:00 PM Budget Workshop #5
(Prior to Council meeting)
 - Monday, November 24, 2025 7:00 PM Council votes to advertise 2026 budget
- Wednesday, December 10, 2025 6:30 PM Council votes on adoption of 2026 budget
- Borough Non-Uniform Pension Committee
Motion: *move to full Council the appointment of Anthony McAlister (PW) to the Non-uniform pension committee for a term of two years.*
- Edmunds GovTech Code and Financial Software – Authorization to begin implementation.
Motion: *move to full Council authorization for Borough Manager to sign contract - agreement and begin migration of information to implement Edmund's GovTech software in 2026.*
(15-month lead time from acceptance of proposal to go live with new system. Information migration and implementation fee of \$50,042.50 due at signing.)
- 2026 Vehicle Replacement – Parking Enforcement
Motion: *move to full Council authorization for the Borough Manager to enter into the purchase agreement for the Parking Enforcement vehicle to be delivered in 2026.*
(Vehicle and equipment upfit costs will be funded through sales of surplus equipment and the parking reserve fund).
- Firsttrust Bank – Borough Banking
Motion: *move to full council authorization to transfer Borough banking from Fulton Bank to Firsttrust Bank in 2026 and to begin migration of information in 2025.*
- PARAGON Consulting Group – Human Resource Professionals
Motion: *move to full Council authorization to enter into an agreement with Paragon Human Resources to provide Comprehensive Ongoing HR Support for Jenkintown Borough (32 Employees) at a cost of \$2,500 a month beginning in January 2026.*
- Collection of Delinquent Accounts – Portnoff Law Associates, LTD.
PLA has 35 years Municipal collections experience and currently serves in this capacity in 31 Municipalities and School Districts in Montgomery County including the following Boroughs; Bridgeport, Hatboro, Pottstown, Rockledge, and Souderton.
- Sanitary Sewer System Management Software – WaterWorth Software, *update.*
(System implemented and being utilized to assist with forecasting rate structure and capital planning.)
- Sanitary Sewer Fund – the increases to the Borough's portion of the treatment and maintenance costs at the Philadelphia Treatment plant and Aqua's Engineering and improvements on the conveyance system purchased from Cheltenham will require a Borough sewer rate increase in the 2026 budget to adequately fund anticipated expenses. A comprehensive analysis has been undertaken to determine the necessary sewer rate. The proposed increase was designed to minimize negative effect on the rate payers, cover current treatment and maintenance costs and ensure the sewer fund remains stable. The proposed annual sewer rate increase will be \$67 for the average household using 58,400 gallons. This proposed rate increase would not take into consideration the downstream construction cost being proposed by Aqua and Philadelphia. The proposed downstream construction cost has not been finalized, and the project concept has not been approved by the PaDep.

- TA Set-Aside Draft grant application for Pedestrian Crossing, Traffic Control and Drainage improvements at the West Avenue crossing to Jenkintown Train station was submitted prior to deadline.

Administration & Finance - Ongoing Business

- Solid Waste Collection contract expires 3/2027.
Waste collection and hauling will need to be bid publicly at the end of 2026. Successful management of the solid waste fund has brought the fund out of a deficit and allowed the solid waste collection fees to ratepayers to remain unchanged in the 2026 budget.
- Proposed Plastic Bag Ordinance – EAC presented the proposed plastic bag ordinance at the October Committee meeting. The Borough Solicitor has been engaged to coordinate with the EAC completing the Ordinance for presentation to Borough Council for consideration to advertise and adopt at some point in 2026.
- LSA Grant – Rehabilitation of Borough Hall
(*Process/progress update, contract signed, and project may proceed*) **no update.**
- Governor’s Center for Local Government Services
(*STMP - Strategic Management Planning Program*) **no update.**
- Personnel Policy & Procedure Manual Update
(*update required to comply with most recent Federal and Labor Laws - final revision sent to Labor Council*) **no update.**
- Abington Township has presented the Borough with updated pricing on ‘Leaf and Lawn Waste’ disposal and a rate structure for storage of road deicing salt. These increases have been discussed at the budget meetings. **no update**
(The cost of disposal of lawn and leaf waste has a substantial increase, and the storage of the de-icing road salt would be a new fee.)
- Right to Know requests – Borough Solicitor handling larger requests, requests requiring legal opinion and requests requiring redaction.

Building Zoning & Revitalization - New Business/Items for Discussion

- Planning Commission
- Zoning Code – Comprehensive Review. A comprehensive review/revision took place last in 2010. The code will now be reviewed for compliance with the SALDO Ordinance recently adopted and for issues commonly encountered while administering the zoning code.
- Current Development Updates
 - 459/471 Old York Road LLC – Mixed Use Building, Retail / Apartments
Demolition & Construction Plans Under Review, PaDep reviewing EDU Planning Module. Demolition permit under review w/ a proposed date of demolition of Jan. 2026.
 - 455 York Road – Interior renovation plans approved for Dunkin Donuts
 - 604 West Avenue Immaculate Church – (3-bedroom apts/commercial first floor)
EDU Planning Module approved by Pa DEP. Interior building permit issued.
 - 109 Summit, The Verizon Building, has approved permits to replace the outdated and undersized generator located inside the building with a new generator. Verizon is also looking to decommission the existing battery bank, located within the building, to carry signals and service through a power failure. The temporary generator, located on their property, is commissioned during this work in the event of a power failure. The battery bank does not cover 100% of the required back-up emergency power for the system. Once the new generator is in place and functional, the temporary connections will be removed and the portable generator removed. Project completion is slated for March 31st, 2026.

New Businesses – Zoning & Use Permits

- 725 West – The Cheesecake Lady, Dessert Shop – approved, plans to open in November.
- 500 York Road – Care Givers America, Home Health Care – Approved. Construction plans approved for fit out.
- 749 Yorkway Place – The Lore café, Coffee Shop, light food – approved.

Recently Opened Businesses – Zoning & Use Permits

- 111 York Road – Mobay, Jamaican Restaurant – completed, opened for business.
- 207 York Road – Beauty Salon, approved (same use – personal service shop) – approved.
- 209 York Road – Event Center ‘The Venue’ (same use), approved
- 321 York Road (rear) – Lillie’s Authentic Indian Cuisine, special events and overflow seating for existing restaurant, approved
- 721 West Avenue – Women’s Boutique ‘Dear Laney’, approved (former retail)
- 727 West Avenue – Women’s Boutique ‘Belle Cose Boutique’, approved (former Shoe Repair)
- 729 West Avenue – Aesthetics Studio ‘Fresh Skin Babes LLC’ – approved (former retail)
- 315 York Road – Finance Office “Gratz College”, approved (former dress shop)
- 319 York Road – Art Gallery ‘Moody’s Gallery’ – approved (former Art of MBB, studio)
- 501 Washington Lane, Suite 2 – “Jenkintown Nail & Spa” – approved, (new construction)
- 501 Washington Lane, Suite 1 – Fruit Salad and Smoothie Shop “Blendery, LLC” – approved (new construction)

Building Zoning & Revitalization - Ongoing Business

- Building Improvements Continue (401 York/700 block of West Avenue)
- Private / Public Parking Lot – 429 York Road
(*Possible future opportunity*)
Met with property owners discussed all opportunities. The appraisal proposal has been signed and the appraisal is being scheduled.
- Cedar Street / Greenwood Avenue Properties – Temporary Parking Agreement Has Ended.

Other Business

Adjournment

JENKINTOWN FIRE DEPARTMENT
 MONTHLY CHIEF'S REPORT
 October 1 – October 31, 2025

36 calls for the Department, 28 Incidents within the Borough of Jenkintown and 8 Mutual Aid Incidents

18 Automatic Fire Alarm	2 Carbon Monoxide alarm	1 Commercial Building
3 Electrical fires outside	2 Dwelling	1 Gas Odor outside
3 Gas odor inside	1 Assist the PD	1 Investigation
2 Building Investigation	1 Brush	1 Officers Call

Mutual Aid Responses: 8

25-309	10/04	101 Washington Ln.	AFA	Abington Township
25-312	10/10	941 Meetinghouse Rd.	Dwelling	Abington Township
25-314	10/10	253 Forrest Ave.	Gas Odor In.	Abington Township
25-315	10/10	1849 Davisville Rd.	Commercial	Abington Township
25-317	10/11	7901 High School Rd.	AFA	Cheltenham Township
25-321	10/17	1812 Erlen Rd.	Dwelling	Cheltenham Township
25-323	10/21	100 Old York Rd.	AFA	Abington Township
25-334	10/28	1090 Squirrel Rd.	Gas Odor In.	Abington Township

Mutual Aid Received: 2

25-307	10/02	483 Leedom St.	Gas Odor In.	L-100, E-303
25-313	10/10	100 West Ave.	Building Invest.	L-100, E-303

The Fire Department had 481 Members respond to 36 calls and was in service for 13 hours and 31 minutes. Of those 481 Members, Per the adopted Borough Training Standard 335 of them were certified firefighters, the remaining were support personnel and Juniors. Of those 335 firefighters, 219 of them responded to the scene of the Incident either on the apparatus or POV, the remainder were at the station.

EQUIPMENT USED: 33 air packs, Thermal Imagine Camera, Misc. hand tools, Air Monitoring Meters, PPV fans, chainsaw, RIT equipment

HOSE USED: 100' 1" forestry line

LADDERS RAISED: 0

INJURIES: 0

EQUIPMENT DAMAGED: 0

FUEL USAGE:

Quint 99: 51.6 Gallons Diesel

Tac 99: 0 Gallons Diesel

Engine 99: 10 Gallons Diesel

Engine 99-1: 10 Gallons Diesel

Traffic 99: 0 Gallons Gasoline

Estimated civilian insurance loss for the month: \$ 0.00

Estimated Civilian insurance loss for the year: \$ 400,000.00

During the month of October Members Drilled on forcible entry, Handline operations, pump operations and Gas and Electrical emergencies

Members also participated in Fire Prevention activities from visiting the schools and daycares to hosting the fire prevention open houses.

Respectfully submitted:

Kenneth Lynch
Fire Chief

JENKINTOWN FIRE DEPARTMENT ABRIVATION LIST

ALARM ABRIATIONS

AFA – AUTOMATIC FIRE ALARM

RIT. RAPID INTERVENTION TEAM

STANDBY- RELOCATION TO ANOTHER STATION TO COVER THAT STATIONS CALLS

CO DETECTOR- CARBON MONOXIDE DETECTOR.

BLD. INVESTIGATION- BUILDING INVESTIGATION

APPARATUS ABRIATION

L- Ladder Truck

Sqd- Squad

E- Engine

TAC- Tactical Support Truck

Res- Rescue

SS- Special Service

EM- Emergency Management

FM- Fire Marshall

STATION ASSIGNMENTS

99a Pioneer Fire Company

99b Independent Fire Company

100 Abington Fire Company

200 McKinley Fire Company

300 Weldon Fire Company

400 Edgehill Fire Company

500 Roslyn Fire Company

1 Glenside Fire Company

2 Lamott Fire Company

3 Elkins Park Fire Company

4 Cheltenham Fire Company

9 Rockledge Fire Company

35 Willow Grove Fire Company

82 Wyndmoor Fire Company

19 Fettermills Fire Company

BOROUGH OF JENKINTOWN

MONTGOMERY COUNTY, PENNSYLVANIA

RESOLUTION 2025-22

A RESOLUTION AUTHORIZING APPLICATION TO THE PECO GREEN REGION OPEN SPACE PROGRAM GRANT TO BE USED FOR LIGHTING OF THE PORIOUS PAVING WALKWAY, PARK SIGN, AND MOSAIC TILE FINISH ON THE CONCRETE SEATING WALL FOR THE CEDAR STREET / MORETTI PARK PROJECT IN THE BOROUGH OF JENKINTOWN

The Borough Council of the Borough of Jenkintown, Montgomery County, Pennsylvania (the "Borough") hereby adopts the following resolution:

WHEREAS, the Council of Jenkintown Borough supports the request for grant dollars from the 2025 PECO Green Region Open Space Program in the amount of \$10,000; and

WHEREAS, the Council of Jenkintown Borough understands the grant amount requested can not exceed 50% of the total project cost; and

WHEREAS, the Council of Jenkintown Borough fully understands the application requirements and contracting process if awarded the proposed grant dollars; and

NOW, THEREFORE, BE IT RESOLVED, the Council of Jenkintown Borough, hereby authorizes submission of an application for the 2025 PECO Green Region Open Space Program; and

BE IT FURTHER RESOLVED, that the Council of Jenkintown Borough agrees to, if selected for the PECO Green Region Open Space Program, provide a minimum 50% of the total project cost as match in local, county, state, or private funds, for a cost not to exceed \$11,042.00

DULY PRESENTED AND ADOPTED at the regular meeting of the Council of the Borough of Jenkintown held this 24th day of November 2025.

BOROUGH OF JENKINTOWN

Jay Conners
Borough Council President

ATTEST: _____
George K Locke
Borough Secretary

Cedar Street Moretti Park - Montgomery County

2025 Round - PECO Green Region Open Space Program

Jenkintown Borough

George Locke
700 Summit Avenue
Jenkintown, PA 19046

glocke@jenkintownboro.com
O: 215-885-0700
M: 610-636-3540

George Locke

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Application Form

Project Description

For Program Guidelines, [please click here](#).

Eligibility Requirements*

Eligible Applicants

- Any township, borough, city, or regional recreation authority within PECO’s service territory in Bucks, Chester, Delaware, Montgomery, or York Counties. Eligible applicants must receive gas and/or electric service from PECO
- Within the City of Philadelphia, incorporated non-profit organizations
- PECO does not award grants to religious institutions, unless programs are non-denominational
- PECO does not award grants to individuals

I have read the Program Guidelines and eligibility requirements and understand that I represent an eligible applicant.

Yes

Applicant's County*

Montgomery County

Project Name*

Please provide title *and the applicant's county*.

Example: Veterans Memorial Park - Delaware County

Cedar Street Moretti Park - Montgomery County

Primary Project Type*

Please note:

For plantings, PECO Green Region funding is limited to the purchase of *native plants*

Park Improvements

If Primary Project Type is "Other," please specify Secondary Project Type (Optional)

Please mark any additional project types appropriate to your application. You may mark more than one.

Please note:

For plantings, PECO Green Region funding is limited to the purchase of *native plants*

If Secondary Project Type is "Other," please specify Brief Project Description*

Briefly describe the project for which PECO Green Region funds are being requested.

Projects that include tree plantings must align with the following **Right Tree Right Place guidelines**:

- trees must have a mature height of less than 25 feet if planted within 20 feet on either side of pole-to-pole power lines
- tall-growing trees must be planted 50 feet from power lines

Additional information about Right Tree Right Place, including planting recommendations, can be found on the PECO website at <https://www.peco.com/SafetyCommunity/Safety/Pages/TPPlantingTrees.aspx>.

Cedar Street Moretti Park - The community's vision for the future of the property transformed it into an attractive pocket park providing Borough residents and visitors a unique opportunity to enjoy nature within the context of their close-knit neighborhood. The transformation of this pocket park improved the stormwater management, ecological function, and overall appearance of the site, while providing additional passive and active recreation opportunities for nearby residents. The selected native landscaping including the preservation of an existing Japanese maple tree, the creation of a butterfly meadow, and other shrubs and trees to provide shade and attract birds and pollinators are maturing beautifully and are enjoyed by the increasing number of visitors to the park.

In this final phase of the creation of Cedar Street Moretti Park the Borough is proposing to complete the last three items on the initial construction plans, plans that were paid for in part by the generous award of a 2017 Green Region grant. This program has partnered with the Borough on this Park from the very inception of the planning.

Work on the proposed final phase of construction:

1 - Install the two park light poles and LED fixtures. The lights will be timed to come on at dark but will also be controlled by motion sensor to further conserve energy. The lights will brightly-safely light the porous ADA walking path (walking path paid for in part by the generous award of the 2019 Green Region grant) and park features without producing light pollution or spill over unto adjacent parcels. The infrastructure for the lights was installed during initial site construction.

2- The curvilinear concrete seating wall with cast stone cap is designed to have a mosaic tile face installed that will beautifully accentuate the frontage of the park. The wall has been completed, and the mosaic tile can now be installed. Different designs have been discussed, and artists have offered opinions and ideas on color palettes for the welcoming art piece along a portion of the Cedar Street frontage.

3 - And finally, the official "Cedar Street Moretti Park" sign to be installed as a center piece announcing the arrival to the park where the main walkway into the park meets the meandering walking path before flowing in two different directions connecting the various areas of the park, including a peaceful meadow area, the nature-based children's play space, and the multi-use stone gathering space/stage.

Project Budget

Total Project Cost*

Please list the total project cost, including those expenses for which PECO Green Region funding is requested and those expenses for which it is not.

\$21,042.00

Amount Requested from the PECO Green Region Open Space Program*

Please provide the amount of funding requested from the PECO Green Region Open Space Program for this project, up to \$10,000. The amount requested is not to exceed 50% of the total project cost.

Eligible expenses could include:

- planting material
- consultant fees
- LED lighting supplies
- property acquisition closing costs

Ineligible expenses include:

- staff time for municipal or organization employees

\$10,000.00

Expense Item, Cost, and Requested Funding Amount and Source*

Please list individual project expense items, their total cost, and the amount of each expense that will be covered by the funding requested from the PECO Green Region Program.

Example:

1. Clearing and grading; \$30,000 total cost; \$5,000 requested from PECO Green Region
2. Plants; \$2,500 total cost; \$2,500 requested from PECO Green Region
3. Erosion control; \$5,000 total cost; \$2,500 requested from PECO Green Region
4. Fencing materials; \$1,500 total cost; \$0 requested from PECO Green Region

Please note: if you selected a *Plantings* Project Type, please include in the Attachments section of this application an estimate with an *itemized list* of the plant species, quantity, and cost of plant material.

1. Walkway lighting standards and LED fixtures - Material \$4,892 + motion sensors) Labor \$4,150 (includes \$400 permit, review and inspection).

Total cost \$9,042.00; \$9,042 requested from PECO Green Region

2. Park Sign - Material & Labor \$3,500

Total Cost \$3,500.00; \$958. requested from PECO Green Region

3. Mosaic tile on Face of Concrete Seating Wall, Material \$1,500, Labor \$6,000.

Total Cost \$7,500.00 - \$0 requested from PECO Green Region

Engineering Consultant Design Fees

Total Cost \$1,000, 0 requested from PECO Green Region

Total Project - \$21,042.00 - Borough Match \$11,042 - Requested from PECO Green Region - \$10,000

Total Amount of Matching Funds*

The total amount of matching funds must be equal to or greater than the amount requested from the PECO Green Region Open Space Program.

Matching funds must be a cash match.

In-kind services are ineligible as a match.

\$11,042.00

Matching Funds Details*

Please identify the source of the matching funds, the amount of matching funds, and the status of the funding (either pending or secured).

Example:

1. DCNR, \$25,000, pending
 2. Township Capital Fund, \$2,500, secured
 3. DCED, \$1,500, secured
 4. Pennsylvania Horticultural Society, \$4,000, pending
- Borough General Fund, \$11,042.00 secured

Potential Partial Funding*

If your project is chosen for funding, but awarded an amount less than requested, is your proposal able to be adapted?

Yes

Project Details

Project Need*

Please describe the conservation, passive recreation (hiking, canoeing, bird-watching, etc.), and/or park needs of your municipality as a whole and how the project addresses those needs.

- For projects involving property or conservation easement **acquisition**, please include the total acreage being acquired and describe why the property's permanent protection is important.
- For projects involving **plantings**, please include the location, species, and total number of trees being planted, being sure to reference PECO's Right Tree Right Place webpage (<https://www.peco.com/safety-community/safety/trees-power-lines/planting-trees>). Please include cost estimates in the Attachments section of this application.
- For projects involving physical **trails** (versus trail design and/or planning), please include the distance of trail in miles that will be installed or improved by the project.

1 - Purchase and Install the two park light poles and LED fixtures. The lights will have a photo-cell to come on at dark but will also be controlled by motion sensor to further conserve energy. The lights will brightly-safely light the porous ADA walking path (walking path paid for in part by the generous award of the 2019 Green Region grant) and park features without producing light pollution or spill over onto adjacent parcels. The infrastructure for the lights was installed during initial site construction.

2- The curvilinear concrete seating wall with cast stone cap is designed to have a mosaic tile face installed that will beautifully accentuate the frontage of the park. The wall has been completed, and the mosaic tile can now be installed. Different designs have been discussed, and artists have offered opinions and ideas on color palettes for the welcoming art piece along a portion of the Cedar Street frontage.

3 - And finally, the official "Cedar Street Moretti Park" sign to be installed as a center piece announcing the arrival to the park where the main walkway into the park meets the meandering walking path before flowing in two different directions connecting the various areas of the park, including a peaceful meadow area, the nature-based children's play space, and the multi-use stone gathering space/stage.

Public Access*

Public access for all is an important requirement of the PECO Green Region Open Space Program.

Please describe the project site and how public access will be accommodated, including goals for physical and/or cultural accessibility.

Include details to illustrate how diversity, equity, inclusion, accessibility, and justice initiatives (internal to your municipality or organization and/or more broadly defined) will be addressed to ensure equal access to nature for all communities.

The public park is open to all and features a barrier free entrance, wide walking paths, ADA parking and access, benches and several areas of interest to enjoy during passive recreation. This creates healthy and welcoming green spaces that connect neighbors, builds community identity and provides positive experiences for people of all different accessibility needs. Through community-led service projects, artistic performances, fun events, and neighbor organized clubs and groups all of which provide interconnection and enhancement to the community's quality of life through the Cedar Street Moretti Park.

The park includes a porous paving walking path, children's play area, rain garden, butterfly meadow, native plantings and ADA parking. Additional improvements include stormwater management and several ecological functions. The site of the park was over 90% impervious and completed is now 100% pervious. This not only improves the site storm water management, but it removes this site from the storm water load calculation of the area. Several community groups have held successful events at the park and we are seeing many new faces enjoying the open space in that dense neighborhood.

Project Impact*

Describe how residents in southeastern Pennsylvania will benefit from this project.

- Include details of how citizens in both your community and neighboring communities will benefit from the project.
- Include details of how the project will contribute to the mitigation of climate change.
- If applicable, include details of how the project will contribute to a multi-municipal trail or greenway.

The park offers a green space that residents of Jenkintown as well as visitors can enjoy amid a densely developed area. It is available to the community as a space for play, exercise, community gatherings and events. The location of the park within the neighborhood encourages walkability. The park supports community-led service projects, artistic performances, fun events, and neighbor organized clubs and groups all of which provide interconnection and enhancement to the community's quality of life through the Cedar Street Moretti Park.

Features that support climate change mitigation include wide, porous paved walking paths, a children's play area, stone meeting area, shade structure, rain garden and butterfly meadow. It was designed for ecological functionality which includes stormwater management, mitigating the heat island effect, and supporting local biodiversity.

Project Partners

Partner List*

Please identify project partners and describe their contribution to the project.

NOTE: Partnerships are not required. This question is meant to capture and allow for reporting on community involvement.

Example:

1. Neighborhood gardeners, monthly watering of planted trees
2. Boy Scout Troop 3, volunteer work removing invasive species
3. Local Watershed Association, \$1,000 match and donated plant material
4. Home and School Association, \$2,500 match

If none, please enter NA.

Jenkintown Borough Environmental Advisory Committee - assistance removing invasive species. Assistance w/ plantings and watering of trees.

Montgomery County Planning Commission - planning design features

Friends of Cedar Street Moretti Park - spring cleanup, promotion of events

Pennoni Associates Inc. - design and planning

Scout Troop 201 - clean up, weeding

JB Public Works - maintenance of park including all features. Installed retaining walls, refinished existing retaining wall, repaired fencing.

Attachments

Resolution*

Attach a Resolution that meets the following requirements:

- includes the dollar amount requested from the PECO Green Region Open Space Program
- includes the match amount
- is dated no earlier than 12 months from the application deadline
- is submitted as a PDF file
- for municipalities, the Resolution must be approved by municipal officials
- for non-profit organizations *within the City of Philadelphia* the Resolution or a Project Commitment Letter must be issued by the Board of Directors or Executive Director/President

***If the Resolution will not be signed until after the application deadline, please submit a DRAFT Resolution with your application and forward the signed Resolution immediately upon receipt directly to the program administrator.**

- **An acceptable draft Resolution is unsigned but otherwise complete.**

Resolution Templates

1. Municipal Resolution Template
2. Nonprofit Resolution Template
- 2 Green Region - Municipal Resolution-2025-22.pdf

FOR INCORPORATED PHILADELPHIA NON-PROFITS ONLY

Incorporated non-profit organizations within the City of Philadelphia must also submit proof of their IRS Tax Exempt status.

This document must be submitted as a PDF file.

Plant Quotes

Please note:

For planting projects, PECO Green Region will only fund the purchases of *native plants*.

PDF only

Please combine multiple files into one PDF file document.

Engineer and Quotes.pdf

Optional Attachments

Attach additional optional attachments here, such as photos, maps, site plans, and/or letters of support.

Please combine multiple files into one PDF file document.

Lighting and Site Plans.pdf

Optional Attachments Description

Please provide a bulleted list of the file names/titles of any optional attachments.

Engineer Estimate and Quotes

1. Engineers Project Estimate
2. Municipal Resolution 2025-22
3. Independence Light Poles and Lights Quote
4. Orkin Electric Installation of Lights
5. RODON Park Sign Quote
6. RODON Sign Mockup
7. DITRI Mosaic Wall Quote
8. Light Pole Spec Sheet
9. Photometric Plan
10. LED Light Brochure
11. Park Improvement Location Locations

Optional attachments.

Lighting and Site Plans

1. Site Photometric Lighting Plan
2. Cedar Street Moretti Park Construction Plan Set

Prior PECO Green Region Open Space Program Awards

Prior PECO Green Region Open Space Program Awards*

Has your municipality, regional recreation authority, or non-profit organization been awarded PECO Green Region Open Space Program funding in the past?

Yes

Prior PECO Green Region Open Space Program Awards*

Please list each prior grant round for which your municipality, regional recreation authority, or non-profit organization has received PECO Green Region Open Space Program funding.

Provide the year, name of the project, and the amount awarded

Example:

1. 2013, Pollinator Garden Installation, \$5,000
2. 2018, Veterans Memorial Park Upgrades, \$7,500
3. 2020, Open Space Management Plan, \$10,000

If none or not sure, please enter NA.

2017 Green Region Grant, \$10,000 - Cedar Street Moretti Park - Site Plan Development

2019 Green Region Grant, \$7,500 - Cedar Street Moretti Park - ADA Porous Walkway

File Attachment Summary

Applicant File Uploads

- 2 Green Region - Municipal Resolution-2025-22.pdf
- Engineer and Quotes.pdf
- Lighting and Site Plans.pdf

RESOLUTION NO. 2025-22

**BOROUGH OF JENKINTOWN
MONTGOMERY COUNTY, PENNSYLVANIA**

**A Resolution Authorizing Application to the
2025 PECO Green Region Open Space Program
for the Cedar Street Moretti Park Project**

WHEREAS, the Borough of *Jenkintown* desires to undertake the *Cedar Street Moretti Park* project; and,

WHEREAS, the Borough desires to apply to the PECO Green Region Open Space Program for a grant for the purpose of carrying out this project; and,

WHEREAS, the Borough has received and understands the 2025 PECO Green Region Open Space Program Guidelines.

THEREFORE, BE IT RESOLVED THAT the Borough Council hereby approves this project and authorizes application to the PECO Green Region Open Space Program in the amount of \$10,000.00; and,

BE IT FURTHER RESOLVED, THAT, if the application is granted, the Borough commits to the expenditure of matching funds in the amount not to exceed \$11,042.00, (*which must be equal to or greater than the amount requested*) necessary for the project's success.

SO RESOLVED this 24th day of November 2025.

Attest

Signatures

George Locke, Borough Manager

President Jay Connors

**Project Cost Estimate
2025 PECO Green Region Program**

Site: Cedar Street Moretti Park

Prepared by: Mark E. Bickerton, PE

Lic. No. PE079424

Client: Jenkintown Borough
700 Summit Avenue
Jenkintown, PA 19046

Pennoni Associates Inc
3100 Horizon Drive, Suite 200
King of Prussia, PA 19406

Contact: George Locke, Jenkintown Borough Manager

Date: October 30, 2025

Item	Description	Quantity	Unit	Unit Price	Total	Total Requested from PECO Green Region Program
1	Park Light Poles with LED fixtures	2	Each	\$ 4,521.00	\$ 9,042.00	\$ 9,042.00
2	Official "Cedar Street Moretti Park" Sign	1	Each	\$ 3,500.00	\$ 3,500.00	\$ 958.00
3	Mosaic Tile for Concrete Seat Wall	1	Each	\$ 7,500.00	\$ 7,500.00	\$ 0.00
4	Engineering Consultant Design Fees	1	LS	\$ 1,000.00	\$ 1,000.00	\$ 0.00
Total					\$ 21,042.00	\$ 10,000.00
Project Total						\$ 21,042.00
Local Match						\$ 11,042.00
PECO Green Region Grant Request						\$ 10,000.00



10/30/25

RESOLUTION NO. 2025-22

**BOROUGH OF JENKINTOWN
MONTGOMERY COUNTY, PENNSYLVANIA**

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2025 PECO Green Region Open Space Program
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SO RESOLVED this 24th day of November 2025.

Attest

Signatures

George Locke, Borough Manager

President Jay Connors

ORKIN ELECTRIC SYSTEMS, INC.

606 Greenwood Avenue ~ Jenkintown, PA 19046-3225
Phone 215 572-1146 ~ Fax 215 572-5530
Email orkinelectric@aol.com

October 29, 2025

Borough of Jenkintown
700 Summit Avenue
Jenkintown, PA 19046
Attn: Mr. George Locke

Dear Mr. Locke:

Thank you for spending some time with me going over the Lighting Project at Cedar Street Park in Jenkintown. I am pleased to provide you with this presentation of the details of that Project and an Estimate of the associated costs.

Just to recap, the Project is to install the Two Light Poles and LED Area Luminaires that you are providing to the existing Sono-Tube Concrete Bases and connect them to the existing Wires at each of those locations. It is not known if the Wires are connected at the source or at what voltage.

The provided Pole Specs indicate that they are 12-Foot High, 4" Square Steel with Base Mounting Flanges, and Not Pre-Drilled for the Light Fixtures, with each Pole weighing approx. 90 pounds.

The provided Fixture Specs indicate that there are Factory Accessories included for Daylight Sensing and Motion Detection, but it is not known if they require Field Assembly or Adjustments.

The Sono-Tube Concrete Base Slugs do not have any Mounting Bolts set into them at this time.

There is a 2-Inch Rigid Steel Conduit exposed in the middle of each Sono-Tube and it is not known if these Stubs are complete Raceways back to the source, or Sleeves only, or if they are Bonded.

There is also a Ground Rod set into each Sono-Tube which is extraneous and not required by Code, and it is not known if they were specified in the original engineered drawings. These Ground Rods may be in physical conflict with the Pole Bases and Mounting Bolts and may need to be removed.

We will perform the following:

- > Drill the Sono-Tube Bases to accommodate new Mounting Bolts using the Provided Template.
- > Install suitable Mounting Bolts into the Sono-Tube Bases using 2-Part Anchoring Epoxy.

- > Drill the Poles using the Templates that come with the Fixtures for the Assembly Hardware.
- > Assemble the Fixtures to the Poles using the Hardware that's included with the Fixtures.

- > Furnish, install and connect new Wiring from the Fixtures down the Poles to the Hand-Holes.
- > Install the Poles to the Sono-Tube Bases with the assistance of your Back-Hoe and Operator.
- > Connect the new Wiring in the Poles to the existing Wires at the Sono-Tube Bases.
- > Open the Circuit Breaker Panel and ensure that the existing Wiring was properly connected.

Including Eight (8) Mounting Bolt Assemblies with Nuts and Washers and Anchoring Epoxy, but Not Including the Poles or Fixtures, or Pole or Fixture Accessories, this Project will cost \$3,750.00.

If Circuit Breakers are needed, we will furnish and install them, and additional costs will be incurred. If the Fixture Accessories require Field Installation or Adjusting, additional costs will be incurred. If the Conduits or Ground Rods at the Bases require modification, additional costs will be incurred.

The Fees for a Jenkintown Borough Electrical Permit, Plan Review, and Inspection are Not Included within the scope of this Estimate, and if they are requested or required, those fees plus all related expenses to process them, (estimated approx. \$400.00), will be in addition to the above.

This Estimate is for completing the Project as described and referenced above. It is based upon our evaluation and understanding of the scope of work as presented and discussed, and does not include increases in materials costs or additional labor or materials which may be required due to changes in the scope of work, hidden or concealed issues, adverse weather conditions, or delays resulting from supply chain issues, other vendor issues, site accessibility issues, or other unforeseen circumstances. Other Terms & Conditions apply and will be discussed and agreed upon prior to project acceptance.

As always, please be assured that every effort will be made to keep the costs within this Estimate. If we run into anything unexpected, it will be brought to your attention for an evaluation and a decision before we proceed. And our Certificate of Insurance is already on file with your office.

Thank you very much for allowing us to continue to provide you with Electrical Design and Contracting Services. If you have any questions at all about this, or any other projects that you may be considering, please feel free to call me at your convenience.

Best regards,

Jeff Orkin
Orkin Electric Systems of Jenkintown

ESTIMATE

Rodon Signs

939 Township Line Rd
Elkins Park, PA 19027-1941

sales@rodonsigns.com
+1 (215) 885-5358
<https://www.rodonsigns.com/>



Bill to

Jenkintown Borough.
700 Summit Ave.
Jenkintown PA 19046

Estimate details

Estimate no.: 1070
Estimate date: 10/30/2025

#	Product or service	Description	Qty	Rate	Amount
1.	Production	Single -sided carved sign w/ posts - possible runner - painted (multicolor) *Price subject to change*	1	\$3,500.00	\$3,500.00
2.	Credit Card Fee	3% will be charged unless paying with check	1	\$0.00	\$0.00
				Total	\$3,500.00

Accepted date

Accepted by



Company:
Customer Name:
E-mail address:
Phone:

Order Date:
Order Taken By: Michael P.

INV#:
File Name: Moretti Park sign mockup
2025.fs

Times New Roman-Regular



Proposal

Page No. _____

of _____

Pages _____

DITRI CONSTRUCTION, INC.

RESIDENTIAL & COMMERCIAL

1132 Harriett Road
Huntingdon Valley, PA 19006**215-725-9712**

PROPOSAL SUBMITTED TO <i>Jenkintown Borough</i>	PHONE <i>215-885-0700</i>	DATE <i>10/30/25</i>
STREET <i>700 Summit Ave.</i>	JOB NAME <i>Cedar St. Park</i>	
CITY, STATE and ZIP CODE <i>Jenkintown, Pa. 19046</i>	JOB LOCATION <i>Cedar St.</i>	
ARCHITECT	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for:

- ① Install Mastic Outdoor Tiles on retaining wall, 41 L.F. x 16" in height.
- ② Tiles to be cemented onto wall.
- ③ Grout to be installed in-between tiles.
- ④ Price includes Labor Costs and material costs of cement and grout.

LABOR Cost - \$ 6,000.00

Materials Cost - \$ 1,500.00

TOTAL - \$ 7,500.00

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

_____ dollars (\$ _____).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized
Signature _____Note: This proposal may be
withdrawn by us if not accepted within _____ days.**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____



547102

12 Foot Square Steel Light Pole, 4 Inch Wide, 11 Gauge

Job: _____
 Job Site: _____ State: _____ Client Name: _____
 Notes: _____ Approvals: _____ Date: _____

Product Description:

Pole Top Options: A removable pole cap is provided if the pole is drilled for attaching light fixtures. The drill pattern and drill orientation needs to be provided by the customer unless Energy Light fixtures are used for the project. If tenon option is selected, a steel tenon will be provided.

A 2 3/8 inch diameter tenon with 4 inch length is standard; however, the customer needs to confirm the appropriate tenon size required for the project.

Pole Shaft: 4 inch square 11 gauge.

Pole shaft is weldable-grade, cold-rolled, commercial quality carbon steel tubing conforming to ASTM A500 Grade B. All welds conform to AWS D1.2 using ER70S-6 electrodes.

Handhole: Reinforced, 3" X 5" size handhole is located at 18 inches from the base. Grounding lug incorporating a tapped 1/2"-13 NC hole is provided.

Color: Commercial grade, super durable powder coat is the standard option.

Dark bronze, white and black colors are provided at no extra charge. Other colors and custom colors options are available at a surcharge. Hot dip galvanizing is available with a surcharge and extended lead time. Powder coated, galvanized poles are also available as a premium option.

Anchor Bolts: A set of 4 galvanized steel anchor bolts is provided with each pole assembly. Each anchor bolt includes 2 nuts and 2 washers. Top portion of the anchor bolt is threaded for securing and leveling the pole with the provided nuts and washers. An actual size paper anchor bolt template is provided.

Bolt Circle: 8-1/2" (Bolt Circle Range 8"-9")

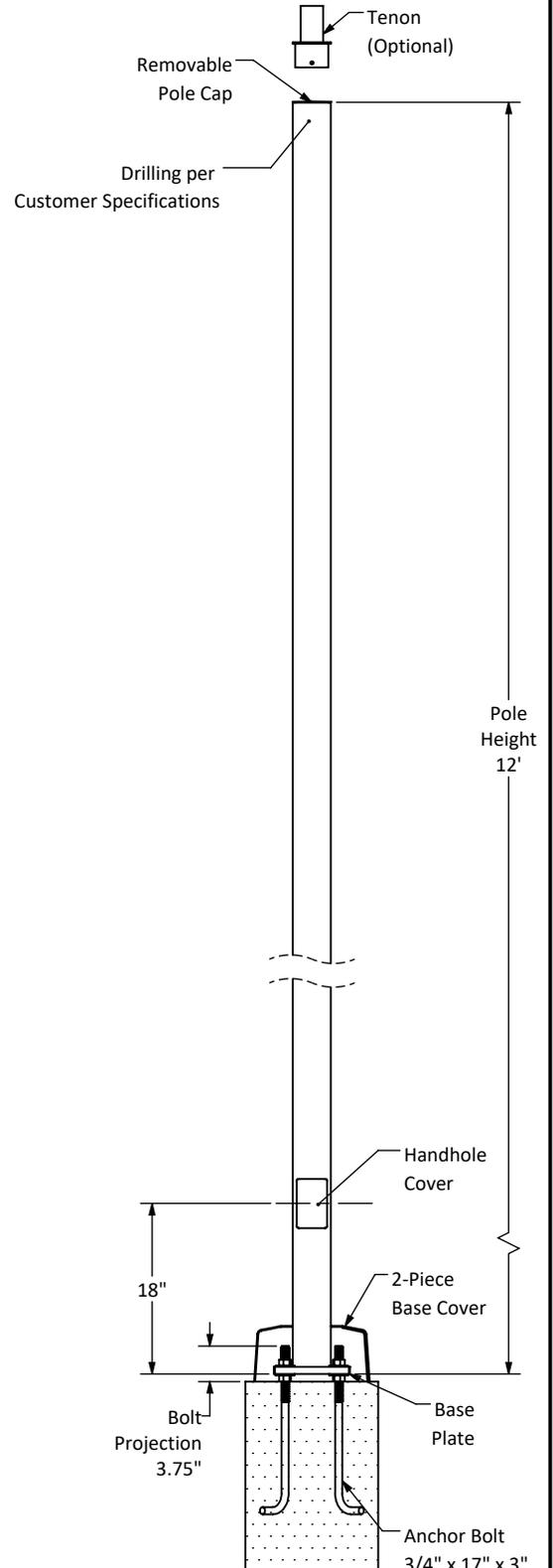
Base Cover: Two-piece ABS plastic base cover is provided.

Other Options: The following options are available:

Vibration dampener, custom tenon sizes, custom colors, electric/GFI outlets, custom pole heights, additional handholes, UL compliant handholes and custom base plate dimensions.

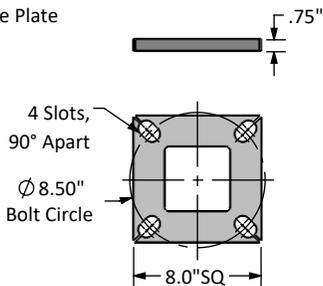
Warranty: 5 Years.

Foundation design: Foundation should be designed by an engineer familiar with local soil and wind conditions as well as local code where the pole(s) will be installed.

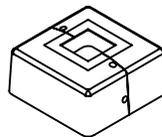


MAXIMUM EPA (Square Feet)						Pole Weight (lbs)
90 mph	100 mph	110 mph	120 mph	130 mph	140 mph	
20.6	16.2	14.9	12.1	9.9	8.2	90

Base Plate

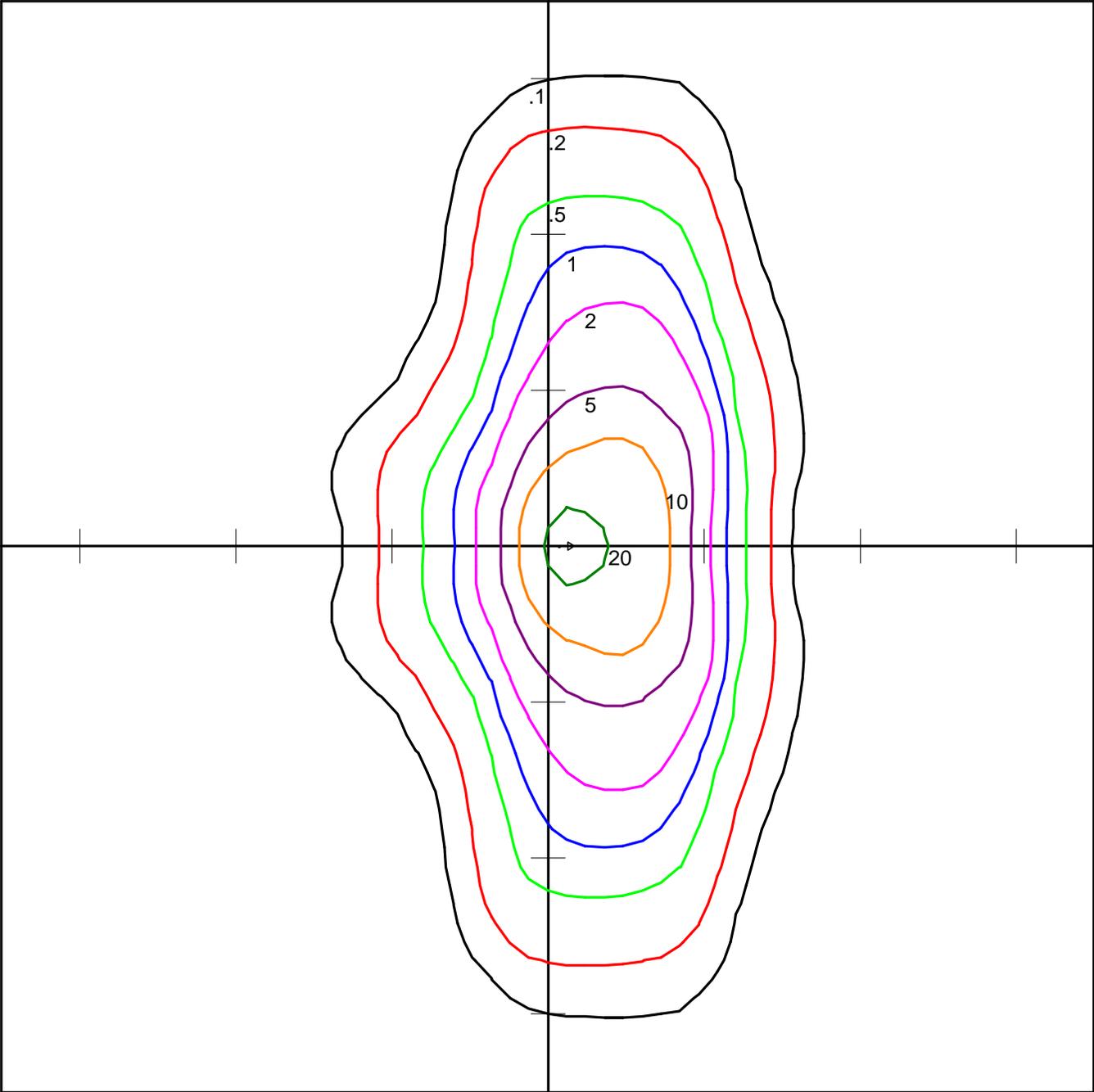


2-Piece Base Cover



Disclaimer: All dimensions and specifications are subject to change without any notice. Energy Light, Inc. is not responsible for any claims arising from improper loading (what is attached to the light pole), improper use, incorrect foundation design and/or installation.

Photometric Toolbox



Leotek Electronics USA LLC
AR13-48N-MV-WW-2-XX-190
Brown formed aluminum housing, clear plastic optics, no
le
ns enclosure
48 White LEDs

Horizontal Footcandles
Scale: 1 Inch = 20 Ft.
Light Loss Factor = 0.72
Lumens Per Lamp = N.A. (absolute photometry)
Luminaire Lumens = 19465
Mounting Height = 12.00 Ft
Maximum Calculated Value = 25.16 Fc
Arrangement: Single
Arm Length = 1.5 Ft

Architectural Site and Area Lighting

Featuring ComfortOptics™



Arieta®
ComfortGuide™



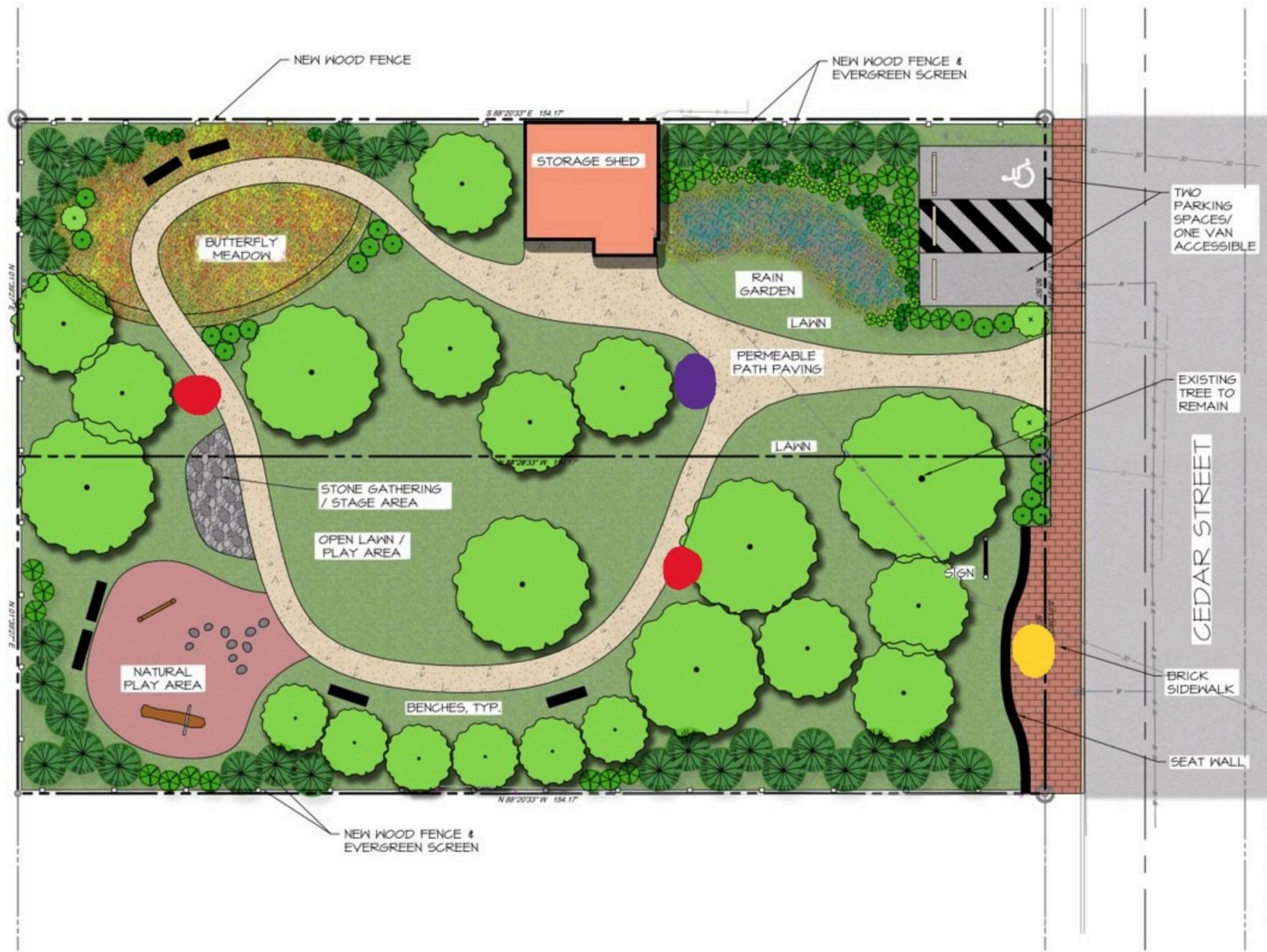
Eseta™

LEOTEK®

www.leotek.com



- PROPOSED LIGHTING
- MOSAIC WALL
- PARK SIGN



SKETCH PLAN A - CEDAR STREET PARK
SCALE: 1" = 10'-0"

1
SK-A

PLOTTED: 1/30/2019 11:43 AM BY: Dana Navon PROJECT STATUS: ---

DRAWING NO: 13028 Cedar Street Park/DESIGN SHEETS/13028.dwg

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

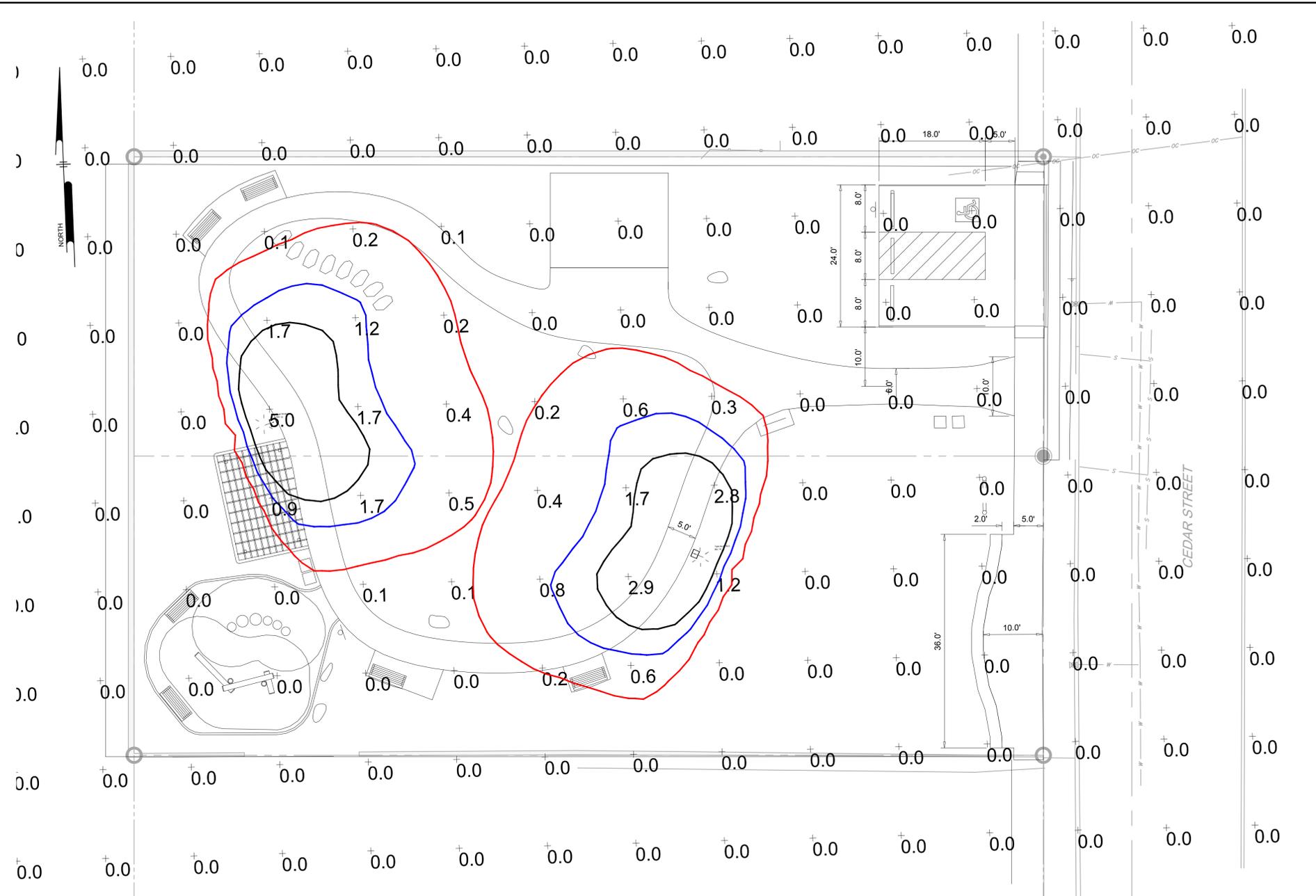
CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA
SKETCH PLAN A
 BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNOM ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENDING OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNOM ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNOM ASSOCIATES. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNOM ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	JENKB 13028
DATE	2019-01-18
DRAWING SCALE	1"=10'
DRAWN BY	DM
APPROVED BY	CEB

SK-A



CALL BEFORE YOU DIG
 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
 NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
 BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
 SERIAL NUMBER(S):

LAYOUT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF PROPOSED IMPROVEMENTS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THIS PLAN WHICH WILL AFFECT THE LAYOUT OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL PROVIDE DIRECTION TO RESOLVE CONFLICTS.
- PROPOSED PAVED AREAS, LIGHT LOCATIONS, AND OTHER PROPOSED SITE ELEMENTS TO BE STAKED IN THE FIELD AND LOCATIONS VIEWED BY THE ENGINEER PRIOR TO INSTALLATION. MINOR ADJUSTMENTS MAY BE MADE IN THE FIELD BY THE ENGINEER TO AVOID CONFLICTS.
- DIMENSIONS SHOWN ON THE PLAN ARE FOR INFORMATION ONLY. ENGINEER WILL PROVIDE THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR AN ELECTRONIC AUTOCAD FILE OF THE SITE PLAN FOR LAYING OUT THE PROPOSED SITE WORK.

SITE LIGHTING PLAN - CEDAR STREET PARK 1
 SCALE: 1" = 10'-0"
 CS1001

NOTE: LIGHT FIXTURE SHALL BE PRESET AT 50% OF POWER

LEGEND - EXISTING:

- CURB
- LIGHT
- SIGN
- FENCE
- ▨ STORM INLET
- OH OVERHEAD ELECTRIC
- 46.34 x SPOT ELEVATION
- 50 CONTOUR
- CONCRETE PAVING
- TREE
- EXISTING BLOCK WALL

LEGEND - PROPOSED:

- BRICK WALKWAY
- POROUS PAVING
- CRUSHED STONE PAD
- WOOD FENCE
- ORNAMENTAL FENCE
- BENCH
- TREES AND SHRUBS
- BOULDER

Symbol	Qty	Label	(MANUFAC)	Description	Arrangement	LLD	LDD	LLF
□	2	Type S4 98 BLS	LEOTEK ELECTRONICS USA CORP.	AR13-108MM WW-4 BK-700 HSS PCRT CR/RVL SRME-XBP (AT 50%)	SINGLE	0.900	0.800	0.300

Label	CalcType	Units	Avg	Max	Min	AugMin	MaxMin	LVRatio	Grid Z
Walkway	Illuminance	Fc	0.71	5.3	0.0	N.A.	N.A.	N.A.	0

THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURERS.

ANY SUBSTITUTION REQUESTS MUST BE SUBMITTED 15 DAYS PRIOR TO THE BID AND MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE FIXTURES IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN.

ALL EXTERIOR LIGHTING PLANS SHALL BE SUBMITTED 15 DAYS PRIOR TO THE BID TO THE LOCAL LIGHTING AUTHORITY TO DETERMINE IF ALL OF THE LOCAL LIGHTING REQUIREMENTS HAVE BEEN MET.

INSTALLATION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD VERIFICATION OF ALL EXISTING UNDERGROUND STRUCTURES AND UTILITIES, SUCH AS WATER MAINS, SANITARY AND STORM SEWERS, TELEPHONE AND ELECTRIC CONDUITS, AND GAS LINES, ETC. AND ABOVE GROUND UTILITIES WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION OPERATIONS.
- DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL ELEVATIONS, INVERTS, AND DIMENSIONS IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK.
- THE PENNSYLVANIA ONE-CALL NUMBER IS 1-800-242-1776. THE CONTRACTOR IS REQUIRED TO SUBMIT VERIFICATION TO THE MUNICIPALITY THAT A ONE-CALL HAS BEEN PLACED PRIOR TO THE START OF DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE MUNICIPALITY RELATIVE TO THE PROPOSED PROJECT.
- THE CONTRACTOR SHALL REPAIR ALL UTILITY TRENCHING WORK LOCATED WITHIN EXISTING PAVED STREETS.
- THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL.
- THE CONTRACTOR SHALL REMOVE ALL TEMPORARY FENCING, GATES, COVERED PEDESTRIAN WALKWAYS, TRAFFIC BARRIERS, AND SIGNAGE AT THE COMPLETION OF THE PROJECT. ALL AREAS DISTURBED AS A RESULT OF THE INSTALLATION OF THESE TEMPORARY CONTROLS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE L.F. SHOWN IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL, GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED.
- ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO INSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

CALCULATION NOTES:

THE LIGHT LOSS FACTOR IS A PRODUCT OF MANY VARIABLES. IT IS UP TO THE FINAL REVIEWING AGENCY TO DETERMINE THE APPROPRIATE LIGHT LOSS FACTOR.

ILLUMINATION VALUES SHOWN (IN FOOT-CANDELS) ARE THE PREDICTED RESULTS FOR PLANES OF THE CALCULATION EITHER HORIZONTAL, VERTICAL, OR INCLINED AS DESIGNATED IN THE CALCULATION SUMMARY.

POLE NOTES:

12" SQUARE STRAIGHT STEEL POLES SHALL BE SUPPLIED BY ENERGY LIGHT, INC. (TO BE FINISH PAINTED BLACK)

LIGHTING CONTROLS AND BURGE PROTECTION: ALL NEW FIXTURES ARE TO BE EQUIPPED WITH DIMONOFF RME-XBP PHOTOCELLS AND ABLE POWER PRODUCTS RALS BURGE DEVICE. FIXTURES MUST BE EQUIPPED WITH ALL MADE PROTECTION (I.E. L.G. N.G.) BURGE PROTECTION INTEGRAL TO THE PHOTOCONTROL. SHOULD HAVE 3 INCHES OF PROTECTION LINE TO NEUTRAL, LINE-TO-GROUND AND NEUTRAL-TO-GROUND. THE MINIMUM BURGE PROTECTION SPECIFICATIONS SHOULD BE 10KA IN 25KA MAX AND 20KV LDC.

SET ONE SMART PHOTOCELL TO CONTROL ALL OTHER SITE LIGHTING FIXTURES (DIMONOFF RME-XBP). SET TO 50%.

FOR PRICING AND COMMISSIONING, PLEASE CONTACT INDEPENDENCE LIGHTING.

INDEPENDENCE LIGHTING
 KENT LAZOR
 PHONE: 610-330-3271
 EMAIL: KLAZOR@COMCAST.NET

Pennoni
PENNONI ASSOCIATES INC.
 3100 Horizon Drive, Suite 200
 King of Prussia, PA 19406
 T 610.277.2402 F 610.277.7449

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER. ANY DISCREPANCIES MUST BE NOTICED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA

SITE LIGHTING PLAN

BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
5	01/24/24	REVISIONS TO LIGHT FIXTURE INTENSITY	EPP
4	12/07/20	PER DCAR COMMENTS	EPP
3	09/10/20	PER MEETING W/ BOROUGH ON 9-9-20	EPP
2	3/19/19	ADDED PERGOLA	EPP
1	3/12/19	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT JENKB 13028
DATE 2019-01-07
DRAWING SCALE 1"=10'
DRAWN BY DM
APPROVED BY CEB

CS 2001
 SHEET - OF -

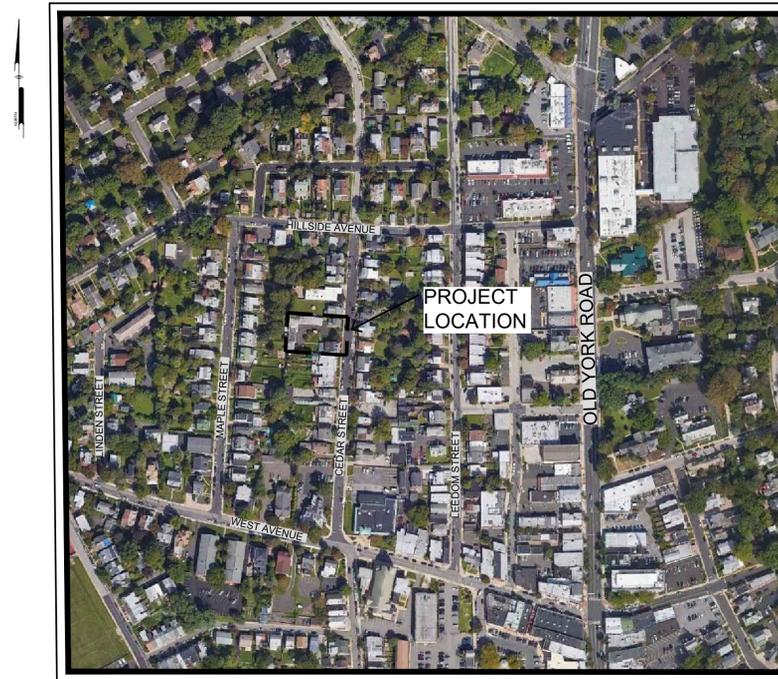


CEDAR STREET PARK

433-435 CEDAR STREET, JENKINTOWN, PA

BOROUGH OF JENKINTOWN

700 SUMMIT AVENUE
JENKINTOWN, PA 19046



LOCATION MAP
N.T.S.

SHEET LIST				
SHEET NUMBER	DRAWING TITLE	SHEET TITLE	ISSUE DATE	REVISED DATE
1	CS0001	COVER SHEET	2019-03-19	2020-09-10
2	CS0501	EXISTING CONDITIONS AND DEMOLITION PLAN	2019-03-19	2020-09-10
3	CS1001	SITE IMPROVEMENT PLAN	2019-03-19	2020-09-10
4	CS1501	GRADING AND DRAINAGE PLAN	2019-03-19	2020-09-10
5	CS1701	UTILITY PLAN	2019-03-19	2020-09-10
6	CS2002	LANDSCAPE PLAN	2019-03-19	2020-09-10
7	CS6001	CONSTRUCTION DETAILS	2019-03-19	2020-09-10
8	CS6002	CONSTRUCTION DETAILS	2019-03-19	2020-09-10
9	CS6003	CONSTRUCTION DETAILS	2019-03-19	2020-09-10
10	CS6004	CONSTRUCTION DETAILS	2019-03-19	2020-09-10
11	CS8501	EROSION & SEDIMENTATION CONTROL PLAN	2019-03-19	2020-09-10
12	CS8502	EROSION & SEDIMENTATION CONTROL DETAILS	2019-03-19	2020-09-10

PREPARED BY:

PENNONI ASSOCIATES INC.



3100 Horizon Drive, Suite 200
King of Prussia, PA 19406
T 610.277.2402
F 610.277.7449

CS 0001

SHEET 1 OF 12

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

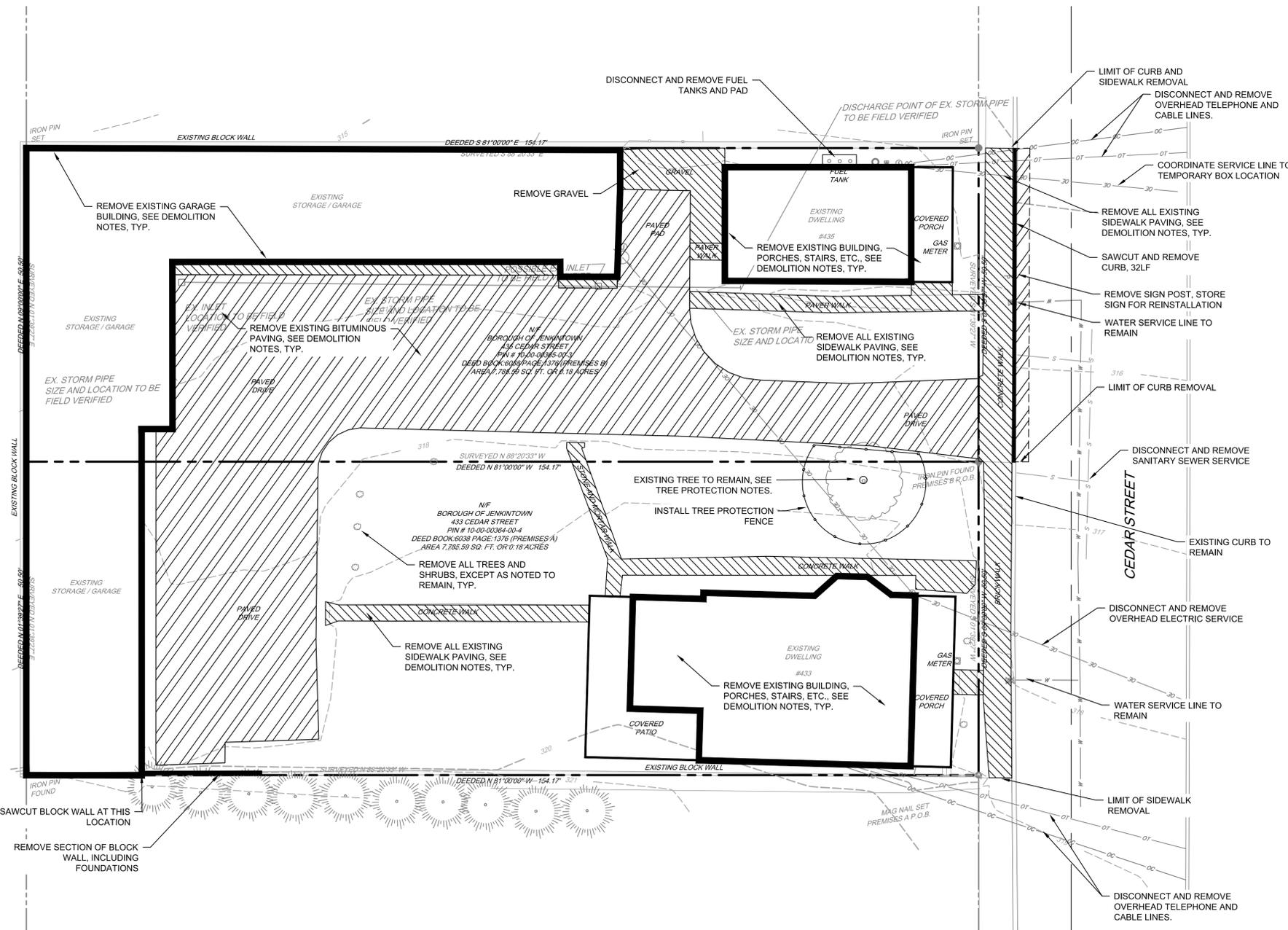
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY AND PROTECTION OF WORK AREAS DURING CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF VEHICULAR AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION, INCLUDING ALL SIGNAGE AND FENCING REQUIRED TO DIRECT TRAFFIC AND PROTECT WORK AREAS.

SURVEY NOTES:

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES ON JUNE 12, 2018.
2. UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
 - 2.A. RIGHTS OR INTERESTS OF THE UNITED STATES OF AMERICA OR COMMONWEALTH OF PENNSYLVANIA OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE, OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
 - 2.B. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
 - 2.C. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS INCLUDING BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
3. LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
 - 3.A. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
 - 3.B. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - 3.C. IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW", THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
 - 3.D. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
4. THE HORIZONTAL DATUM FOR THIS PROJECT REFERENCES THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983.
5. THE VERTICAL DATUM FOR THIS PROJECT IS AS INDICATED ON THE PLAN.

DEMOLITION NOTES:

1. PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 287 OF 1974, AS AMENDED BY ACT 121 OF 2008, THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST THREE (3) WORKING DAYS PRIOR TO EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR UTILIZING APPLICABLE EROSION CONTROL MEASURES PRIOR TO AND DURING DEMOLITION. (REFER TO EROSION AND SEDIMENTATION CONTROL PLAN, SHEET CS-8501, AND EROSION AND SEDIMENTATION CONTROL DETAILS, SHEET CS-8502.)
3. ALL STRUCTURES, PAVEMENT, SUBBASE, FOUNDATIONS AND MISCELLANEOUS ITEMS SHALL BE REMOVED IN THEIR ENTIRETY FROM THE SITE, UNLESS OTHERWISE NOTED.
4. SAFETY DEVICES (I.E. BARRICADES, WARNING TAPE, CHAIN LINK FENCING, ETC.) SHALL BE USED DURING DEMOLITION PROCEDURES TO INSURE THE SAFETY OF THE SURROUNDING PUBLIC. REFER TO SITE LOGISTICS PLAN FOR ADDITIONAL INFORMATION REGARDING LANE CLOSURES, AND CONSTRUCTION ENTRANCES. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE SITE LOGISTICS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING, PREPARING, AND OBTAINING PERMITS RELATED TO STREET AND SIDEWALK CLOSURES RELATED TO ALL CONSTRUCTION COMPONENTS OF THIS PROJECT.
5. THE CONTRACTOR SHALL INSTALL AN 8' HIGH CHAIN LINK SECURITY FENCE OUTSIDE THE LIMIT OF DISTURBANCE. POSTS SHALL BE DRIVEN OR SET ON PLATES. EXACT LOCATION SHALL BE COORDINATED WITH OWNER AND DESIGNATED ON CONTRACTOR'S SITE SAFETY PLAN.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPROPRIATE PERMITS FROM GOVERNMENTAL AGENCIES PRIOR TO START OF DEMOLITION.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR, AT CONTRACTOR'S EXPENSE.
8. CONTRACTOR TO NOTIFY APPROPRIATE UTILITY COMPANY OR THE OWNER PRIOR TO SHUTDOWN, CUTTING/CAPPING, REMOVAL OR RELOCATION OF ANY UTILITY.
9. ALL MATERIALS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED WASTE DISPOSAL SITE OR SHALL BE RECYCLED IN ACCORDANCE WITH PROJECT REQUIREMENTS.
10. ALL SIGNS, POSTS, VALVES, ETC. IN THE SIDEWALK AND STREET ARE TO BE PROTECTED AND MAINTAINED IN OPERABLE CONDITION THROUGHOUT DEMOLITION AND CONSTRUCTION.
11. THE EXTENTS OF SHEETING, SHORING AND UNDERPINNING (IF ANY) ARE UNKNOWN. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING A PENNSYLVANIA LICENSED ENGINEER TO PREPARE CONSTRUCTION DRAWINGS FOR ALL EXCAVATION BRACING, UNDERPINNING, SUPPORT, SHEETING, SHORING OR OTHER MEANS NECESSARY TO ALLOW FOR DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS FOR INSTALLING THE SHEETING AND SHORING PLACED WITHIN THE SUBJECT PROPERTY AND OTHER AREAS OUTSIDE THE PROPERTY BOUNDARY. THE CONTRACTOR SHALL COORDINATE THE SHEETING AND SHORING WITH CITY AND STATE AGENCIES AND THE ADJACENT PROPERTY OWNERS.
12. CONTRACTOR TO PROTECT AND SUPPORT EXISTING UTILITY STRUCTURES TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
13. PAVEMENTS AND CURBS TO BE REMOVED ARE TO BE SAWCUT TO A CLEAN, STRAIGHT EDGE TO FULL DEPTH OF ROADWAY, SIDEWALK, OR CURB.
14. ALL UTILITY LINES TO BE ABANDONED SHALL BE SEALED WITH A MINIMUM OF 12-INCH DEEP MASONRY PLUG UNLESS OTHERWISE NOTED OR REQUIRED BY MORE STRINGENT LOCAL UTILITY REQUIREMENTS.
15. CONTRACTOR SHALL DIG TEST PITS AT ALL UTILITY CROSSINGS AND APPARENT CONFLICTS TO VERIFY THE ELEVATION OF THE EXISTING UTILITY MAINS A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF ANY WORK. THE ENGINEER SHALL BE PROVIDED WITH ELEVATIONS AT ALL LOCATIONS.
16. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.



EXISTING CONDITIONS AND DEMOLITION PLAN - CEDAR STREET PARK

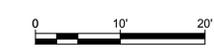
SCALE: 1" = 10'-0"



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S):

- LEGEND - EXISTING:**
- CURB
 - LIGHT
 - SIGN
 - FENCE
 - STORM INLET
 - OH OVERHEAD ELECTRIC
 - 46.34 ± SPOT ELEVATION
 - 50 — CONTOUR
 - CONCRETE PAVING
 - TREE
 - EXISTING BLOCK WALL

- LEGEND - PROPOSED:**
- CONCRETE CURB TO BE REMOVED
 - BITUMINOUS PAVING TO BE REMOVED
 - SIDEWALK PAVING TO BE REMOVED
 - BLOCK WALL SECTION TO BE REMOVED



STRUCTURES HAVE BEEN DEMOLISHED SINCE GRANT SUBMISSION AND APPROVAL. THIS IS BEING PROVIDED FOR INFORMATIONAL PURPOSES.

Pennonni
PENNONI ASSOCIATES, INC.
3100 Horizon Drive, Suite 200
King of Prussia, PA 19406
T 610.277.2402 F 610.277.7449

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

EXISTING CONDITIONS AND DEMOLITION PLAN
CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA
BOROUGH OF JENKINTOWN
700 SUMMIT AVENUE
JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
3	08/10/20	PER MEETING W/ BOROUGH ON 8-9-20	EPP
2	3/10/19	ADDED PERGOLA	EPP
1	3/12/18	REVISIONS TO LANDSCAPING UTILITIES DETAILS	EPP

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS FOR THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	JENKB 13028
DATE	2019-02-07
DRAWING SCALE	1"=10'
DRAWN BY	DM
APPROVED BY	CEB
CS 0501	
SHEET	2 OF 12



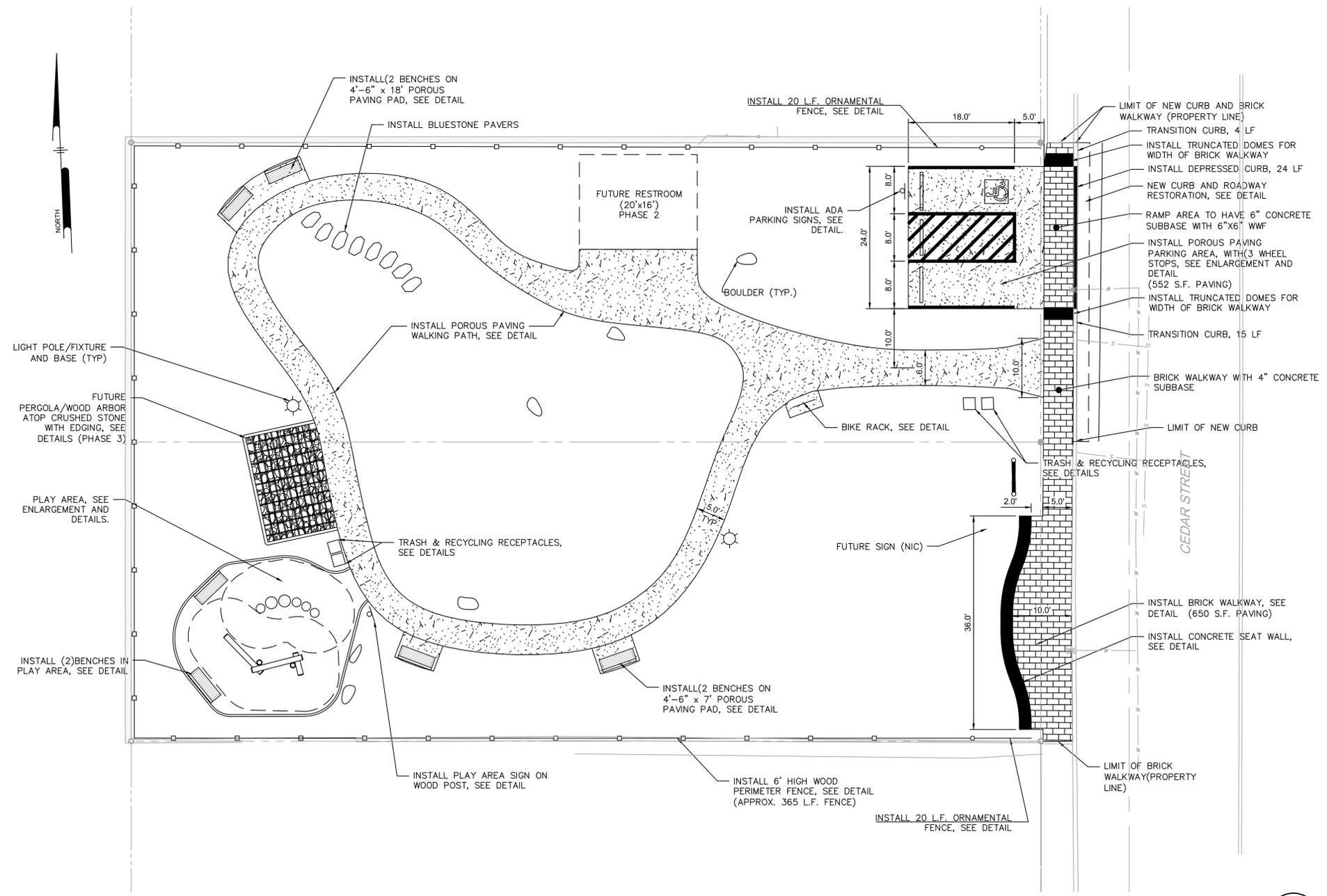
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CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA

BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

SITE IMPROVEMENT PLAN



LAYOUT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LAYOUT OF PROPOSED IMPROVEMENTS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THIS PLAN WHICH WILL AFFECT THE LAYOUT OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL PROVIDE DIRECTION TO RESOLVE CONFLICTS.
- PROPOSED PAVED AREAS, LIGHT LOCATIONS, AND OTHER PROPOSED SITE ELEMENTS TO BE STAKED IN THE FIELD AND LOCATIONS VIEWED BY THE ENGINEER PRIOR TO INSTALLATION. MINOR ADJUSTMENTS MAY BE MADE IN THE FIELD BY THE ENGINEER TO AVOID CONFLICTS.
- DIMENSIONS SHOWN ON THE PLAN ARE FOR INFORMATION ONLY. ENGINEER WILL PROVIDE THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR AN ELECTRONIC AUTOCAD FILE OF THE SITE PLAN FOR LAYING OUT THE PROPOSED SITE WORK.

SITE IMPROVEMENT PLAN - CEDAR STREET PARK
 SCALE: 1" = 10'-0"

1
 CS1001



LEGEND - EXISTING:

- CURB
- LIGHT
- SIGN
- FENCE
- STORM INLET
- OVERHEAD ELECTRIC
- SPOT ELEVATION
- CONTOUR
- CONCRETE PAVING
- TREE
- EXISTING BLOCK WALL

LEGEND - PROPOSED:

- BRICK WALKWAY
- POROUS PAVING
- CRUSHED STONE PAD
- WOOD FENCE
- ORNAMENTAL FENCE
- BENCH
- TREES AND SHRUBS
- BOULDER



CALL BEFORE YOU DIG
 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
 CALL 1-800-242-1776
 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S):

PROGRESS PRINT
 9/11/2020

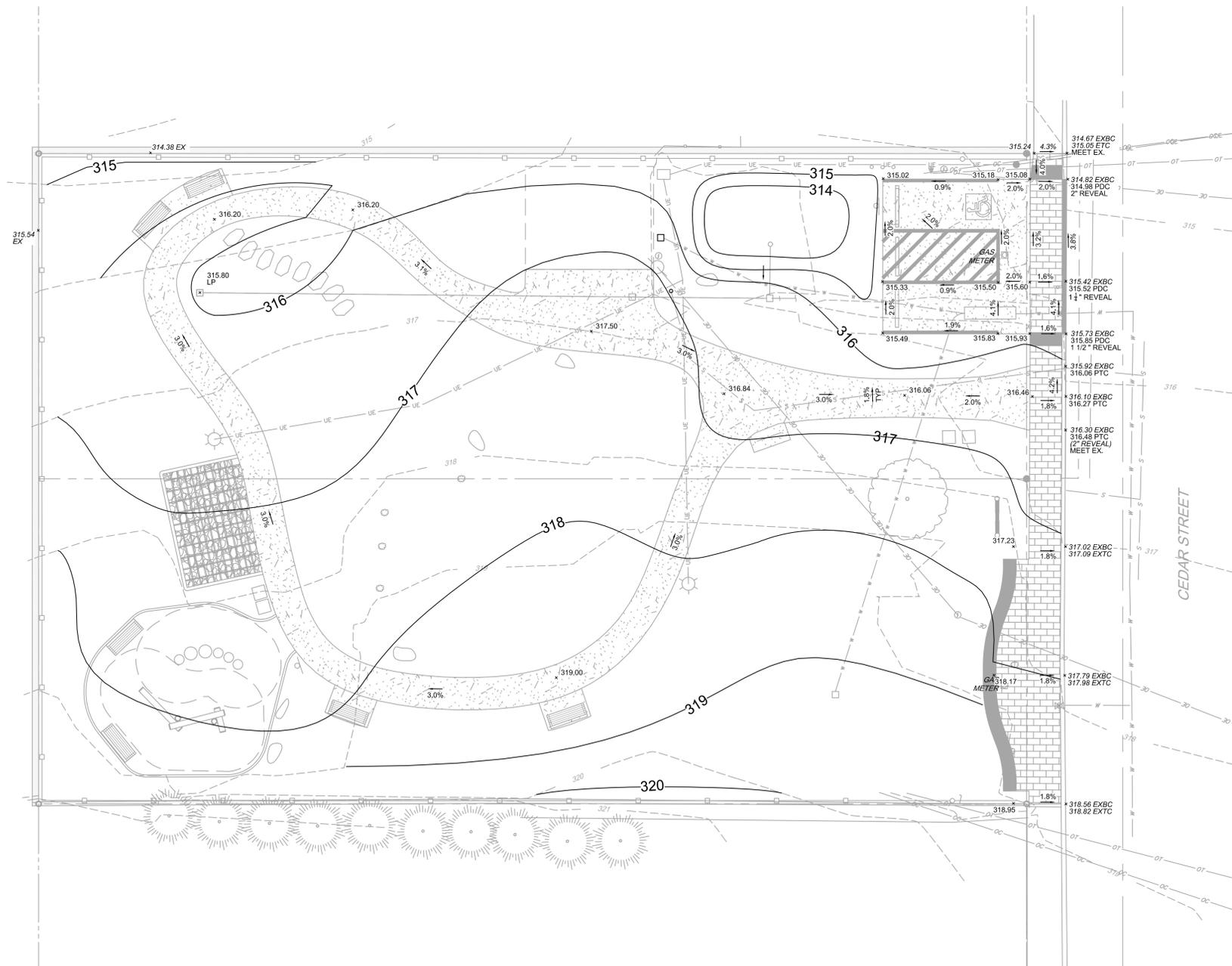
NO.	DATE	REVISIONS	BY
3	09/10/20	PER MEETING W/ BOROUGH ON 9-9-20	EPP
2	3/10/19	ADDED PERGOLA	EPP
1	3/12/19	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

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PROJECT: JENKB 13028
 DATE: 2019-01-07
 DRAWING SCALE: 1"=10'
 DRAWN BY: DM
 APPROVED BY: CEB

CS 1001
 SHEET 3 OF 12

U:\Accounts\ENR\ENR\13028 - Cedar Street Park\CS1001_SHEETS\CS1001.dwg PLOTTED: 9/11/2020 10:41 PM BY: Edward Baker PROJECT STATUS: PLOTTED: Pennoni KCS.dwg



DRAINAGE NOTES:

- EXISTING STORM SEWER ON SITE WAS INSPECTED BY VIDEO.
 0+00 EXISTING INLET
 APPROX. 0+67 POSSIBLE INLET OR JUNCTION
 APPROX. 0+90 END OF VIDEO, COULD NOT PASS DUE TO BLOCKAGE
- ALL LOCATIONS, INVERTS ETC. OF EXISTING STORM SEWER HAVE NOT BEEN SURVEYED AND MUST BE FIELD VERIFIED.
- DESIGN BASED ON LIMITED INFORMATION SUPPLIED BY THE MUNICIPALITY REGARDING CONNECTION TO AN EXISTING STORM SEWER AND MAY BE SUBJECT TO CHANGE BASED ON FIELD VERIFICATION

GRADING NOTES:

- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ON SITE PRIOR TO COMMENCEMENT OF WORK. SEE UTILITY NOTES ON THE DEMOLITION PLAN.
- CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION LAYOUT OF ALL PROPOSED ELEVATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING PROPOSED GRADES INTO EXISTING GRADES WITH SMOOTH, EVEN TRANSITIONS, ROUNDING OUT ALL MOUNDS AND DEPRESSIONS.
- FINISHED GRADE OF ALL NEW PAVEMENTS TO MEET THE GRADES OF THE EXISTING PAVEMENT. TRANSITIONS TO BE FLUSH AND SMOOTH.
- MAIN BRICK WALKWAY MUST BE ADA COMPLIANT. MAXIMUM LOGITUDINAL SLOPE NOT TO EXCEED 5%. PATH CROSS SLOPE TO BE BETWEEN 1% AND 2%. CONTACT THE ENGINEER IMMEDIATELY, BEFORE EXCAVATION, IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLAN. POSITIVE DRAINAGE WITH NO PONDING SHALL BE PROVIDED.
- IN THE PLAYGROUND AREA, SITE CONTRACTOR IS RESPONSIBLE GRADING TO THE ROUGH GRADES AS INDICATED (RG).
- THE FINISHED GRADE OF THE LAWN ADJACENT TO THE BRICK WALKWAY IS TO BE FLUSH WITH THE BRICK WALKWAY. ALLOW TOPSOIL TO SETTLE, OR LIGHTLY COMPACT, BEFORE SEEDING TO ENSURE A FLUSH FINISHED CONDITION.

GENERAL NOTES:

- A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES ON JUNE 12, 2018.
- BENCHMARK AS SHOWN ON PLAN.
- THE EXISTING SITE TOPOGRAPHY ON THIS PLAN HAS BEEN REVISED TO SHOW THE CONDITIONS AFTER THE REMOVAL OF THE BUILDINGS. CONTRACTOR IS CAUTIONED TO REVIEW THE ACTUAL EXISTING CONDITIONS AFTER THE DEMOLITION WORK IS COMPLETE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPLICABLE EROSION CONTROL MEASURES PRIOR TO THE START OF DEMOLITION AND MAINTAINING THE APPLICABLE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. SEE SEDIMENT & EROSION CONTROL PLAN AND NOTES FOR MORE INFORMATION.

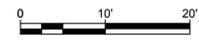
GRADING NOTES:

- ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM. BENCHMARK(S) WILL BE PROVIDED.
- MINIMUM BRICK WALKWAY GRADE SHALL BE 1.5% UNLESS NOTED OTHERWISE; MAXIMUM SIDEWALK GRADE SHALL BE 5%; MAXIMUM SIDEWALK CROSS SLOPE 2%.
- A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS.
- THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES, AT THE CONTRACTOR'S EXPENSE, THAT HAVE BEEN DAMAGED OR REMOVED.

GRADING AND DRAINAGE PLAN - CEDAR STREET PARK
 SCALE: 1" = 10'-0"

1
 CS1501

LEGEND - EXISTING:		LEGEND - PROPOSED:	
	CURB		CONCRETE PAVER SIDEWALK
	LIGHT		POROUS PAVING
	SIGN		CRUSHED STONE PAD
	FENCE		WOOD FENCE
	STORM INLET		BENCH
	OVERHEAD ELECTRIC		TREES AND SHRUBS
	SPOT ELEVATION		
	CONTOUR		
	CONCRETE PAVING		
	TREE		
	EXISTING BLOCK WALL		



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 SERIAL NUMBER(S):

Pennonni
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 3100 Horizon Drive, Suite 200
 King of Prussia, PA 19406
 T 610.277.2402 F 610.277.7449

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CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA

GRADING PLAN

BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

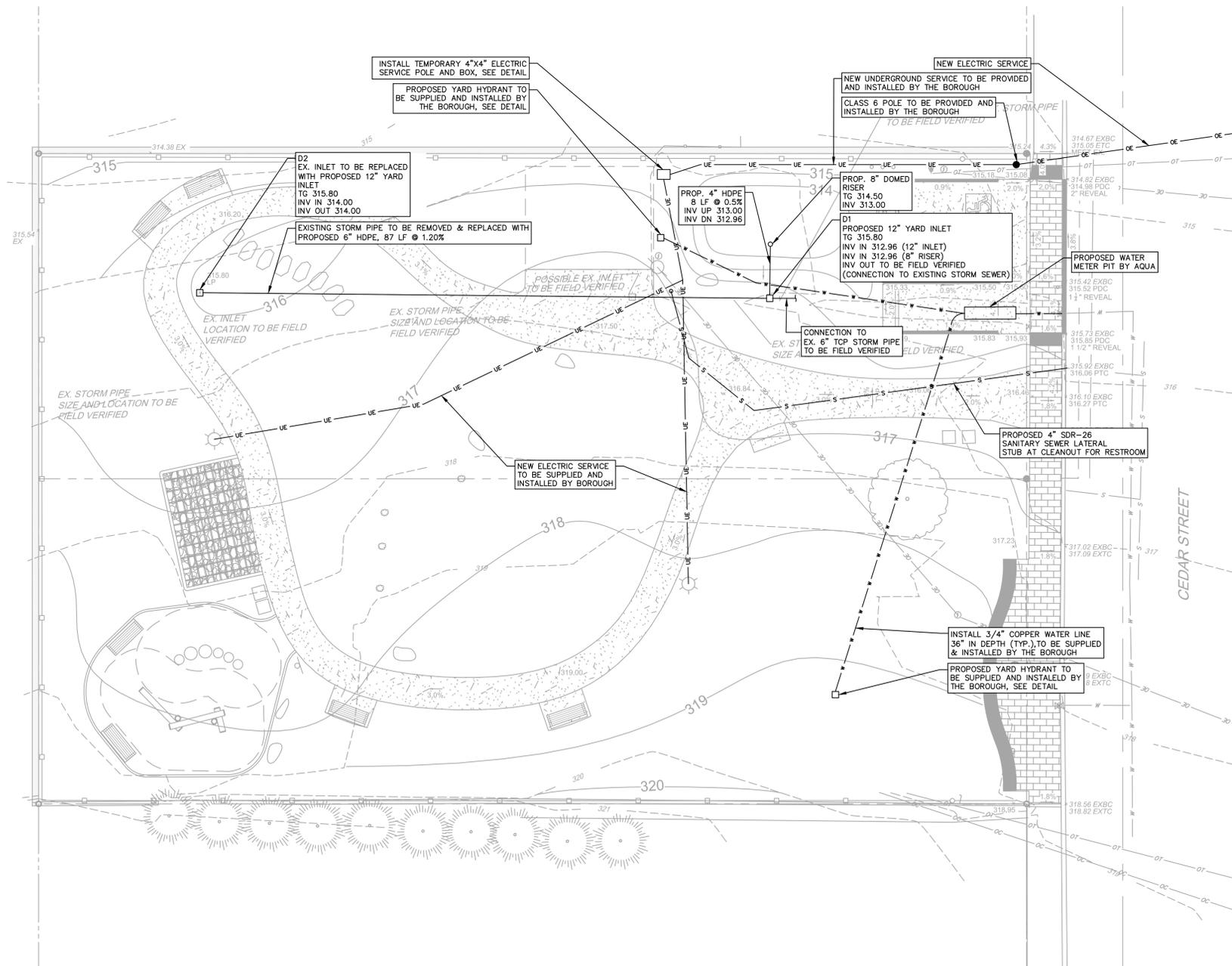
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2	3/10/19	ADDED PERGOLA	EPP
1	3/12/19	REVISIONS TO LANDSCAPING UTILITIES DETAILS	EPP

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PROJECT: **JENKB 13028**
 DATE: 2019-01-07
 DRAWING SCALE: 1"=10'
 DRAWN BY: DM
 APPROVED BY: CEB

CS 1501
 SHEET 4 OF 12

PROGRESS PRINT
9/11/20



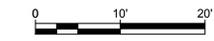
UTILITY PLAN - CEDAR STREET PARK
SCALE: 1" = 10'-0"

1
CS1501



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SERIAL NUMBER(S):

LEGEND - EXISTING:		LEGEND - PROPOSED:	
	CURB		CONCRETE PAVER SIDEWALK
	LIGHT		POROUS PAVING
	SIGN		CRUSHED STONE PAD
	FENCE		WOOD FENCE
	STORM INLET		BENCH
	OVERHEAD ELECTRIC		TREES AND SHRUBS
	SPOT ELEVATION		CONTOUR
	CONTOUR		CONCRETE PAVING
	TREE		EXISTING BLOCK WALL



GENERAL NOTES:

1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES ON JUNE 12, 2018.
2. BENCHMARK AS SHOWN ON PLAN.
3. THE EXISTING SITE TOPOGRAPHY ON THIS PLAN HAS BEEN REVISED TO SHOW THE CONDITIONS AFTER THE REMOVAL OF THE BUILDINGS. CONTRACTOR IS CAUTIONED TO REVIEW THE ACTUAL EXISTING CONDITIONS AFTER THE DEMOLITION WORK IS COMPLETE.
4. CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPLICABLE EROSION CONTROL MEASURES PRIOR TO THE START OF DEMOLITION AND MAINTAINING THE APPLICABLE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. SEE SEDIMENT & EROSION CONTROL PLAN AND NOTES FOR MORE INFORMATION.

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CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA

UTILITY PLAN

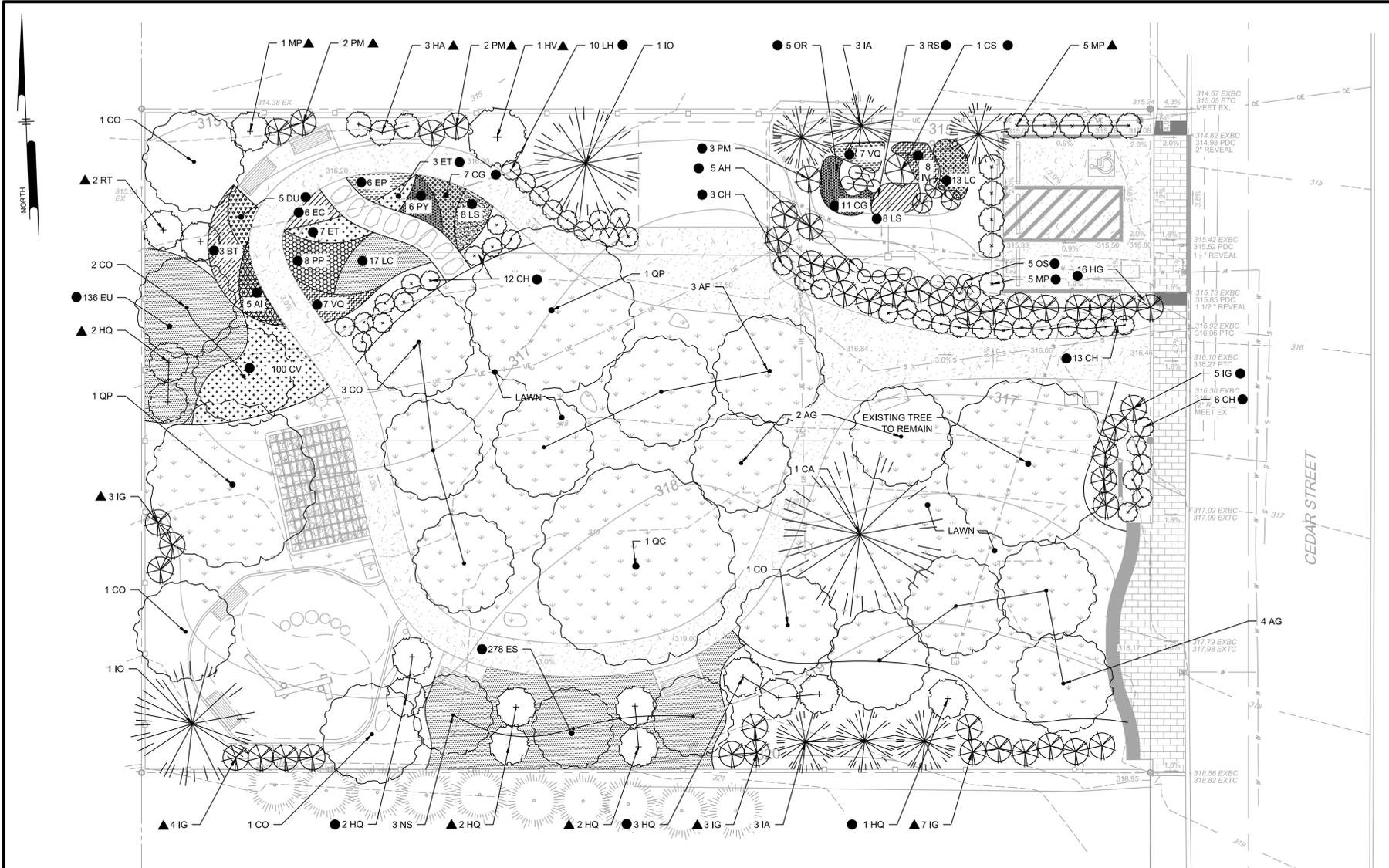
BOROUGH OF JENKINTOWN
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JENKINTOWN, PA 19046

DATE	NO.	REVISIONS	BY
08/10/20	3	PER MEETING W/ BOROUGH ON 8-9-20	EPP
3/10/19	2	ADDED PERGOLA	EPP
3/12/19	1	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

PROJECT	JENKB 13028
DATE	2019-01-07
DRAWING SCALE	1"=10'
DRAWN BY	DM
APPROVED BY	CEB

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PROJECT	JENKB 13028
DATE	2019-01-07
DRAWING SCALE	1"=10'
DRAWN BY	DM
APPROVED BY	CEB



PLANTING PLAN - CEDAR STREET PARK

SCALE: 1" = 10'-0"



PLANT SCHEDULE - BASE BID

KEY	QTY	BOTANICAL NAME	COMMON NAME	INITIAL SIZE	ROOT	NOTES
SHADE TREES						
AF	3	<i>Acer x freemanii</i> 'Armstrong'	Freeman Maple 'Armstrong'	2" cal.		
NS	3	<i>Nyssa sylvatica</i> 'Wildfire'	Black Gum 'Wildfire'	2" cal.	B&B	
QC	1	<i>Quercus coccinea</i>	Scarlet Oak	2" cal.	B&B	
QP	2	<i>Quercus phellos</i>	Willow Oak	2" cal.	B&B	
EVERGREEN TREES						
CA	1	<i>Cedrus atlantica</i> (Glauca Group)	Blue Atlas Cedar (Glauca Group)	6' - 8' height	B&B	
IA	6	<i>Ilex x attenuata</i> 'Longwood Gold'	Foster Holly 'Longwood Gold'	6' - 8' height	B&B	
IO	2	<i>Ilex opaca</i> 'Miss Helen'	American Holly 'Miss Helen'	6' - 8' height	B&B	
ORNAMENTAL TREES						
AG	6	<i>Amelanchier x grandiflora</i>	Serviceberry	8' - 10' height	B&B	
CO	9	<i>Cotinus 'Grace'</i>	Smoketree	8' - 10' height	B&B	

PLANT SCHEDULE - ADD-ALTERNATE 1

KEY	QTY	BOTANICAL NAME	COMMON NAME	INITIAL SIZE	ROOT	NOTES
SHRUBS						
HA	3	<i>Hydrangea arborescens</i> 'NCHA1' 'Invincibelle Spirit'	Smooth Hydrangea	30" ht. min.	#3 Cont.	
HQ	6	<i>Hydrangea quercifolia</i> 'Amethyst'	Oakleaf Hydrangea	36" ht. min.	B&B	
HV	1	<i>Hamamelis vernalis</i>	Vernal witch-hazel	36" ht. min.	B&B	Specimen quality
IG	17	<i>Ilex glabra</i> 'Shamrock'	Inkberry	24" ht. min.	#2 Cont.	
MP	6	<i>Morella pensylvanica</i>	Northern Bayberry	36" ht. min.	B&B	
PM	4	<i>Prunus maritima</i>	Beach Plum	30" ht. min.	#3 Cont.	
RT	2	<i>Rhus typhina</i> 'Baltiger' Tiger Eyes	Staghorn Sumac	36" ht. min.	B&B	Specimen quality

PLANT SCHEDULE - ADD-ALTERNATE 2

KEY	QTY	BOTANICAL NAME	COMMON NAME	INITIAL SIZE	ROOT	NOTES
SHRUBS						
CH	28	<i>Clethra alnifolia</i> 'Hummingbird'	Summersweet	24" ht. min.	#2 Cont.	
CS	1	<i>Cornus sericea</i> 'Cardinal'	Red Twig Dogwood	36" ht. min.	#3 Cont.	Specimen quality
HG	16	<i>Itea virginica</i> 'Henry's Garnet'	Virginia Sweetspire	30" ht. min.	#3 Cont.	
HQ	6	<i>Hydrangea quercifolia</i> 'Amethyst'	Oakleaf Hydrangea	36" ht. min.	B&B	
IG	5	<i>Ilex glabra</i> 'Shamrock'	Inkberry	24" ht. min.	#2 Cont.	
LH	10	<i>Itea virginica</i> 'Little Henry'	Virginia Sweetspire	24" ht. min.	#2 Cont.	
MP	5	<i>Morella pensylvanica</i>	Northern Bayberry	36" ht. min.	B&B	
PM	7	<i>Prunus maritima</i>	Beach Plum	30" ht. min.	#3 Cont.	
RS	3	<i>Ilex verticillata</i> 'Red Sprite'	Winterberry Holly	30" ht. min.	#3 Cont.	
PERENNIALS, FERNS, GROUNDCOVER						
AH	5	<i>Amsonia hubrichtii</i>	Blue Star		1 QT Cont.	plant 24" O.C.
AI	5	<i>Asclepias incarnata</i>	Swamp Milkweed		1 QT Cont.	plant 24" O.C.
BT	3	<i>Baptisia</i> 'Blue Towers'	False Indigo		1 QT Cont.	plant 36" O.C.
DU	5	<i>Doellingeria umbellata</i>	Flat-topped Aster		1 QT Cont.	plant 24" O.C.
EC	6	<i>Echinacea</i> 'Cheyenne Spirit'	Coneflower		1 QT Cont.	plant 18" O.C.
EP	6	<i>Echinacea pallida</i>	Pale Purple Coneflower		1 QT Cont.	plant 18" O.C.
ET	10	<i>Echinacea tenneeseensis</i>	Tennessee Purple Coneflower		1 QT Cont.	plant 18" O.C.
IV	8	<i>Iris versicolor</i>	Blue Flag		1 QT Cont.	plant 18" O.C.
LC	30	<i>Lobelia cardinalis</i>	Cardinal Flower		1 QT Cont.	plant 18" O.C.
LS	16	<i>Lobelia siphilitica</i>	Blue Cardinal Flower		1 QT Cont.	plant 18" O.C.
CG	18	<i>Monarda fistulosa</i> 'Claire Grace'	Wild Bergamot		1 QT Cont.	plant 18" O.C.
VQ	14	<i>Monarda</i> 'Violet Queen'	Bee Balm		1 QT Cont.	plant 18" O.C.
PP	8	<i>Phlox paniculata</i> 'Jeana'	Garden Phlox		1 QT Cont.	plant 24" O.C.
PY	6	<i>Pycnanthemum tenuifolium</i>	Slender Mountain Mint		1 QT Cont.	plant 18" O.C.
OS	5	<i>Oncoclea sensibilis</i>	Sensitive Fern		1 QT Cont.	plant 24" O.C.
OR	5	<i>Osmunda regalis</i>	Royal Fern		1 QT Cont.	plant 24" O.C.
CV	100	<i>Chrysogonum virginianum</i>	Golden Knee		Plug	plant 18" O.C.
ES	278	<i>Eurybia spectabilis</i>	Purple wood-aster		Plug	plant 18" O.C.
EU	136	<i>Eurybia surculosa</i>	Creeping Aster		Plug	plant 18" O.C.

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPLICABLE EROSION CONTROL MEASURES PRIOR TO THE START OF DEMOLITION AND MAINTAINING THE APPLICABLE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. SEE SEDIMENT & EROSION CONTROL PLAN AND NOTES FOR MORE INFORMATION.

PLANTING NOTES:

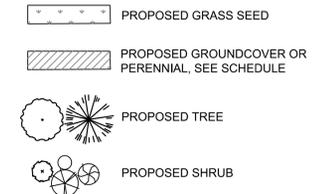
- EXISTING TOPSOIL ON SITE MAY BE UNSUITABLE FOR REUSE. CONTRACTOR MUST PROVIDE IMPORTED TOPSOIL OR AMEND EXISTING TOPSOIL TO MEET REQUIREMENTS OUTLINED IN THE SPECIFICATIONS. CONTRACTOR MUST SUBMIT SOIL TEST ANALYSIS REPORT, INCLUDING AMENDMENT RECOMMENDATIONS, FOR EITHER IMPORTED TOPSOIL OR AMENDED EXISTING TOPSOIL. TOPSOIL MUST BE AMENDED AND RETESTED PRIOR TO PLANTING OPERATIONS.
- ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- HOLES FOR TREES AND SHRUBS SHALL BE DUG IN ACCORDANCE TO THE DIMENSIONS PROVIDED ON THE PLANTING DETAIL, AND BACKFILLED WITH APPROVED SOIL AS OUTLINED IN THE SPECIFICATIONS.
- TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS. SEE SPECIFICATIONS FOR PLANTING SOIL MIX.
- NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL EXISTING AND NEW UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES, WITH APPROVAL OF THE LANDSCAPE ARCHITECT.
- SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL GOVERN AS TO THE QUANTITY OF PLANT MATERIAL TO BE INSTALLED.
- ALL PLANT MATERIAL SHALL BE OF NURSERY STOCK QUALITY AS DEFINED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. ALL PLANT MATERIAL TO BE GUARANTEED TO LIVE AT LEAST 18 MONTHS AFTER COMPLETION OF THE PROJECT.
- ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE. NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF THREE DAYS PRIOR TO DELIVERY.
- PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- MULCH SHALL BE AN AGED, DOUBLE SHREDDED HARDWOOD BARK MULCH OR COMPOSTED LEAF MULCH. MULCH SHALL BE FREE OF WEEDS. GRASS CLIPPINGS ARE NOT ACCEPTABLE. MULCH SHALL BE PLACED EVEN AND LEVEL TO A DEPTH OF 3". NO MULCH SHALL BE PAILED AGAINST TRUNKS, STEMS, CROWNS, OR ROOT FLARES AT BASE OF SHRUBS.

LAWN SEEDING NOTES:

- APPLY LAWN SEED TO ALL AREAS INDICATED ON PLAN AND ALL AREAS DISTURBED BY CONSTRUCTION.
- ALL LAWN AREAS TO BE SEEDED TO RECEIVE 4" MINIMUM DEPTH OF TOPSOIL (DEPTH AFTER SETTLEMENT AND WATERING).
- EXISTING TOPSOIL ON SITE MAY BE UNSUITABLE FOR REUSE. CONTRACTOR MUST PROVIDE IMPORTED TOPSOIL OR AMEND EXISTING TOPSOIL TO MEET REQUIREMENTS OUTLINED IN THE SPECIFICATIONS. CONTRACTOR MUST SUBMIT SOIL TEST ANALYSIS REPORT, INCLUDING AMENDMENT RECOMMENDATIONS, FOR EITHER IMPORTED TOPSOIL OR AMENDED EXISTING TOPSOIL. TOPSOIL MUST BE AMENDED AND RETESTED PRIOR TO PLANTING OPERATIONS.
- MULCH ALL SEEDED AREAS WITH CLEAN STRAW.
- WATER AND MAINTAIN ALL SEEDED AREAS PER SPECIFICATIONS.
- RESEED BARE OR THIN AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- LAWN SEED MIX: SEED MIX SPECIFICALLY FORMULATED FOR HIGH USE LAWN AREAS, WITH A COMPLETE MICROBIAL SEED TREATMENT PACKAGE (MYCO) AND SEED COATING SYSTEM FOR GERMINATION; PENNINGTON SMART SEED PRO ATHLETIC FIELD MIX, OR APPROVED EQUAL, APPLIED AT 6 TO 8 LBS/ 1,000 SQ. FT.
- SEE SPECIFICATIONS FOR MORE INFORMATION.

TOTAL LAWN AREA = ±6,000 SF

LEGEND - PROPOSED:



Pennoni ASSOCIATES, INC.
 3100 Horizon Drive, Suite 200
 King of Prussia, PA 19406
 T 610.277.2402 F 610.277.7449

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA

LANDSCAPE PLAN

BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
1	08/10/20	PER MEETING W/ BOROUGH ON 9-9-20	TCD
2	3/19/19	ADDED PERGOLA	EPP
3	3/12/19	REVISIONS TO LANDSCAPING UTILITIES DETAILS	EPP



CALL BEFORE YOU DIG
 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
 PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S):

PROJECT: **JENKB 13028**

DATE: 2019-02-08

DRAWING SCALE: 1"=10'

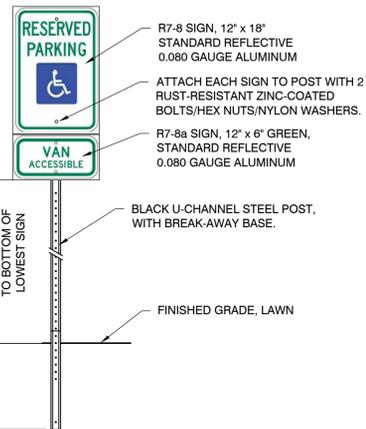
DRAWN BY: SDS

APPROVED BY: CEB

CS 2001

SHEET 6 OF 12

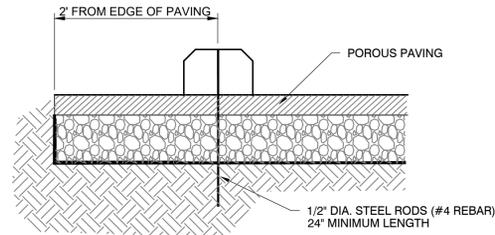
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 PLOTTED: 01/22/2020 9:17 PM BY: Edward Baker
 PLOTTED: 01/22/2020 9:17 PM BY: Edward Baker
 PROJECT STATUS:



DETAIL- ADA PARKING SIGN
N.T.S.

WHEEL STOP NOTES:

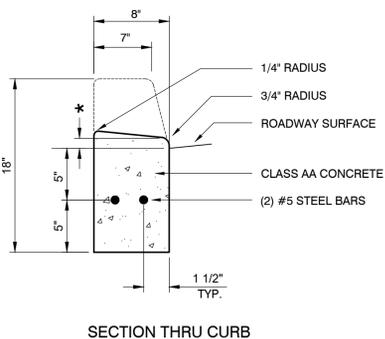
1. CONCRETE WHEEL STOPS TO BE 6' LONG x 9" WIDE x 5" HIGH PRECAST CONCRETE, 5,000 PSI CONCRETE @ 28 DAYS, WITH (2) GRADE #3 REBAR STEEL REINFORCEMENT IN EACH STOP.
2. WHEEL STOPS TO HAVE MINIMUM (2) 3" OPENINGS FOR ANCHOR RODS. COUNTERSINK RODS TO 1" BELOW TOP OF STOP



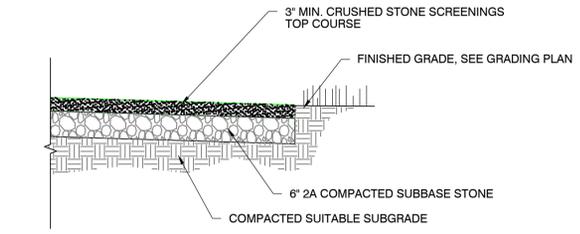
DETAIL- CONCRETE WHEEL STOPS
N.T.S.

CURB NOTES:

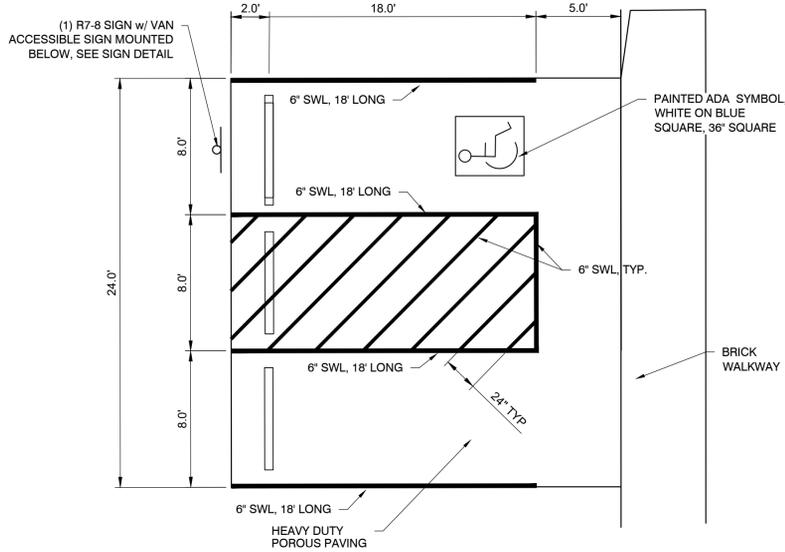
- ★ 1. DEPRESSED CURB TO BE FLUSH WITH ADJACENT PAVING (ROADWAY AND PATH) ON ADA CURB CUTS.
- ★ 2. DEPRESSED CURB TO HAVE 1 1/2" REVEAL ON VEHICLE ENTRANCE APRON.
3. HEIGHT OF FULL DEPTH CURB TO MATCH AND MEET EXISTING.
4. PLACE 3/8" PREMOLED EXPANSION JOINT MATERIAL BETWEEN OLD AND NEW CURB. MATERIAL TO BE CUT TO MATCH CROSS SECTIONAL AREA OF CURB.



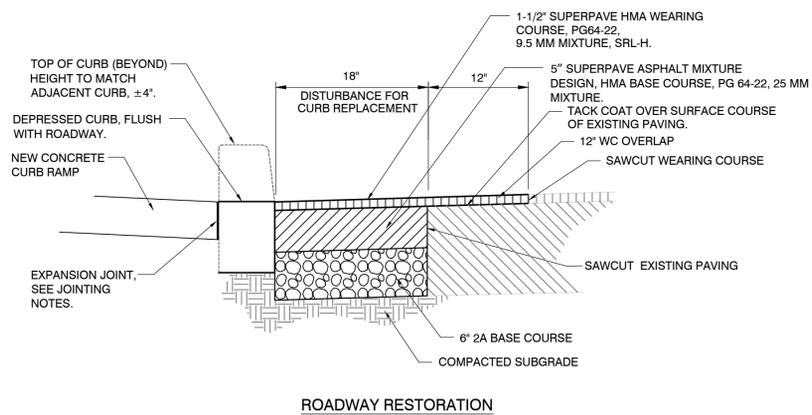
DETAIL- CONCRETE CURB AND ROADWAY RESTORATION
N.T.S.



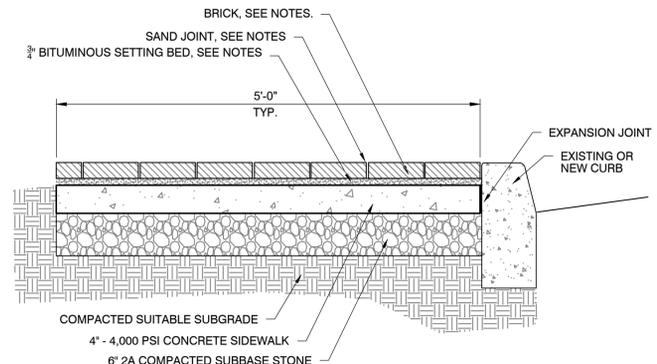
DETAIL- PERGOLA / WOOD ARBOR FINISHED GRADE
N.T.S.



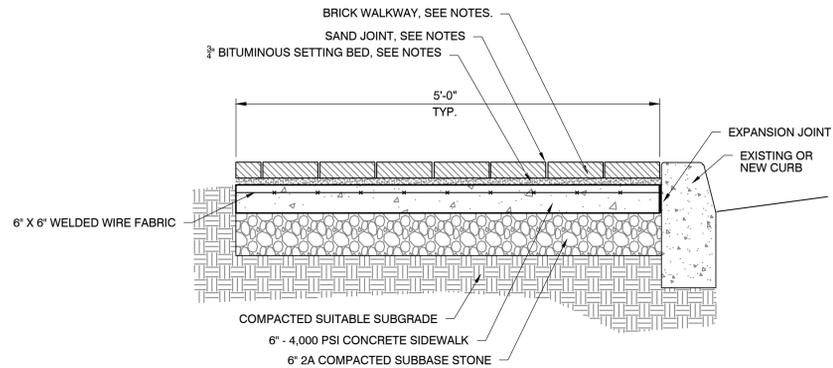
ENLARGEMENT- VEHICLE PARKING AREA
N.T.S.



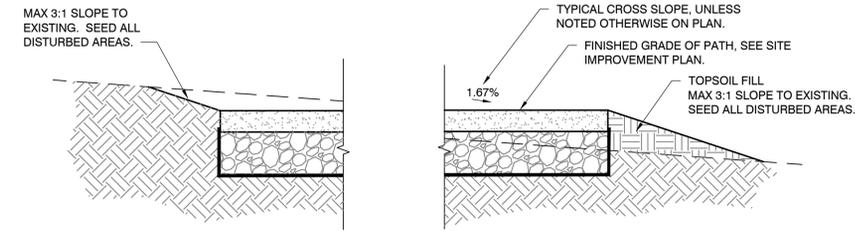
ROADWAY RESTORATION



DETAIL- BRICK WALKWAY
N.T.S.



DETAIL- BRICK WALKWAY AT RAMP
N.T.S.



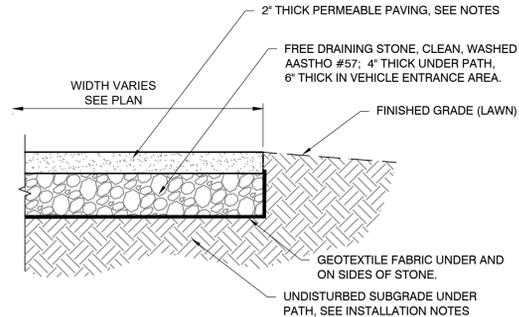
PATH IN CUT SITUATION and **PATH IN FILL SITUATION**

PERMEABLE PAVING NOTES:

1. SURFACE OF PATH TO BE 2" THICK PERMEABLE PAVING MATERIAL. "POROUS PAVE" AS MANUFACTURED BY POROUS PAVE, INC. OR APPROVED EQUAL.
2. COLOR TO BE TAN. PROVIDE SAMPLES OF STANDARD COLOR OPTIONS TO OWNER FOR FINAL SELECTION.

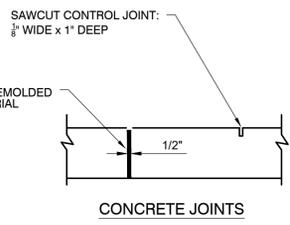
INSTALLATION NOTES:

1. EXCAVATION FOR STONE BASE TO BE DONE WITH SMALL EQUIPMENT ONLY.
2. CAREFULLY ROOT PRUNE ALL TREE ROOTS, BY HAND, ENCOUNTERED DURING EXCAVATION.
3. SEE SPECIFICATIONS FOR DETAILED INSTALLATION INFORMATION.



DETAIL- POROUS PATH PAVING
N.T.S.

- BRICK WALKWAY NOTES:**
1. BRICK TO BE 3 5/8" x 7 5/8" x 2 3/8" THICK. MANUFACTURER AND COLOR AS SELECTED BY THE BOROUGH.
 2. BRICK TO HAVE HAND TIGHT JOINTS. SWEEP ISOMERIC SAND INTO JOINTS.
 3. PLACE BRICK ON 3/8" BITUMINOUS SETTING BED WITH BRICK MASTIC.
 4. THE SIDEWALK CROSS SLOPE MUST BE BETWEEN 1.0% MINIMUM AND 2.0% MAXIMUM. LONGITUDINAL SLOPE MUST NOT EXCEED 5%.
- CONCRETE NOTES:**
1. ALL CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
 2. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
 3. INSTALL SAWCUT OR TOOLED CONTROL JOINTS EVERY 6 LINEAR FEET; INSTALL EXPANSION JOINT EVERY 30 LINEAR FEET.



Pennoni
PENNONI ASSOCIATES, INC.
3100 Horizon Drive, Suite 200
King of Prussia, PA 19406
T 610.277.2402 F 610.277.7449

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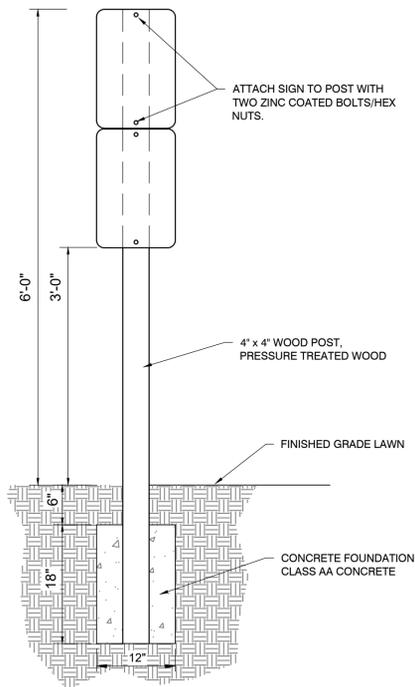
CONSTRUCTION DETAILS
CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA
BOROUGH OF JENKINTOWN
700 SUMMIT AVENUE
JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
3	08/10/20	PER MEETING W/ BOROUGH ON 9-8-20	TCD
2	3/10/19	ADDED PERGOLA	EPP
1	3/12/19	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE WITHOUT WRITTEN VERIFICATION SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **JENK 13028**
DATE: 2019-01-07
DRAWING SCALE: **AS SHOWN**
DRAWN BY: **DM**
APPROVED BY: **CEB**

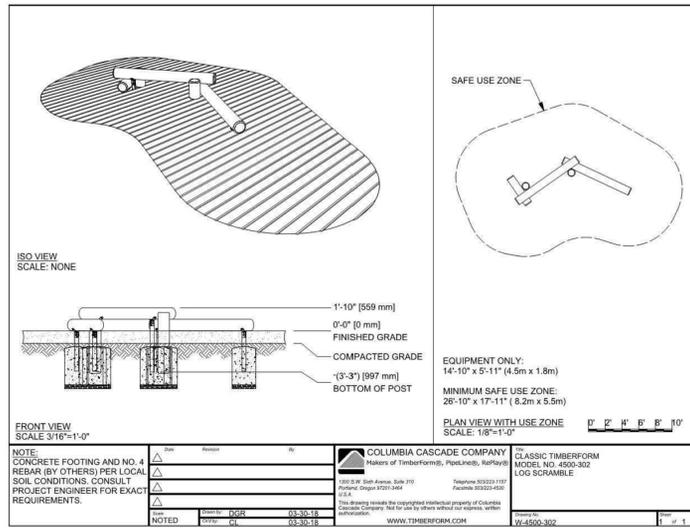
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DETAIL- SIGN ON WOOD POST
N.T.S.



12"x18" SCREEN PRINTED SIGNS ON 0.080 GAUGE ALUMINUM
DARK BLUE TEXT, RED BORDER, ON WHITE BACKGROUND
SUBMIT COMPLETE SHOP DRAWINGS FOR SIGNS, INCLUDING MATERIALS, LAYOUT, COLOR AND TEXT FONTS.



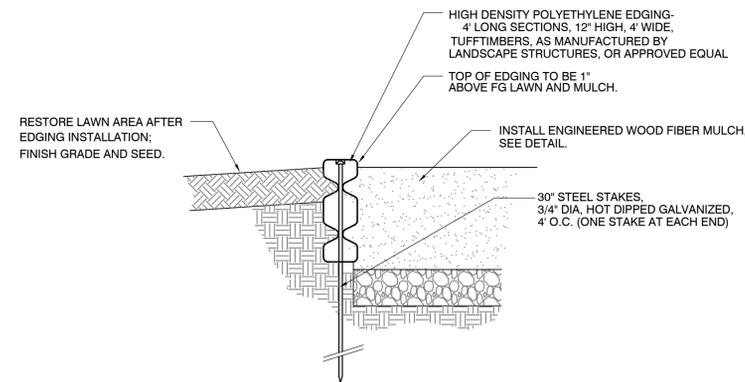
DETAIL- LOG SCRAMBLE
N.T.S.

Standard Permanent Sign Requirements: Use the sign language that coincides with your project's FUNDING Source.
Overall Size: 18" x 24"
Font Size: Range from .71" to 1.75" will have layout sheet defined on language text
Font Style: Arial
Orientation: Landscape
Base Material: Aluminum
Thickness: .080
Sides printed: 1
Corners: Round
Base Color: Green
Text Color: White
Border: Yes
Mounting: At funded project site
Mounting Holes: No
Overlay: EG Vinyl
Language: Standard Language for various signs provided below

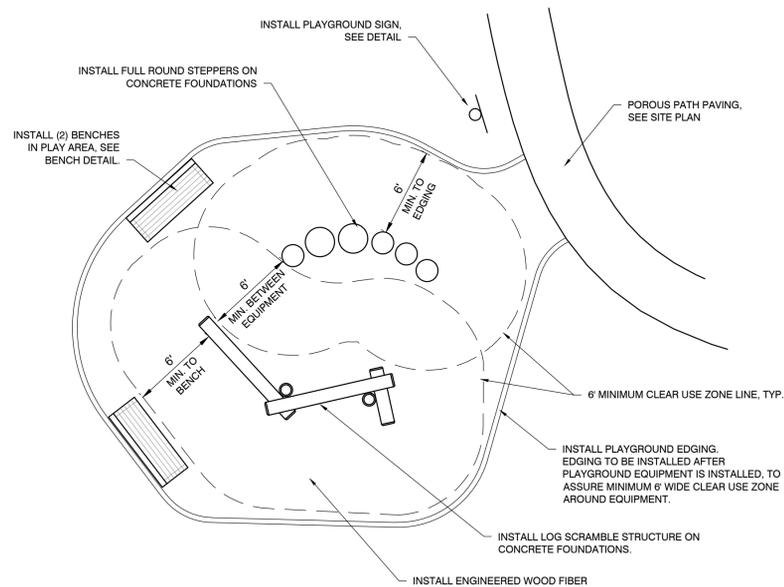
Language for the Standard DCNR - Keystone Recreation, Park and Conservation funded project:



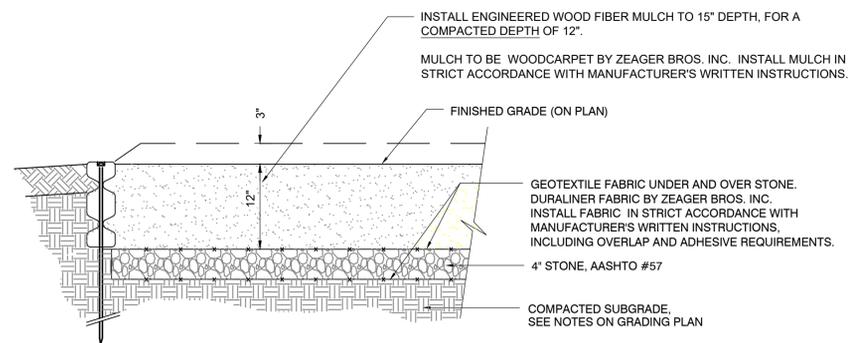
DCNR PERMANENT & TEMPORARY ACKNOWLEDGMENT SIGN
NOT TO SCALE



DETAIL- PLAYGROUND MULCH EDGING
N.T.S.



PLAN - PLAY AREA
N.T.S.

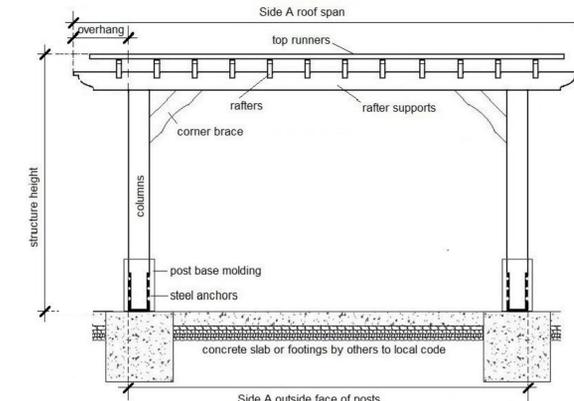


DETAIL- PLAYGROUND MULCH (ENGINEERED WOOD FIBER)
N.T.S.

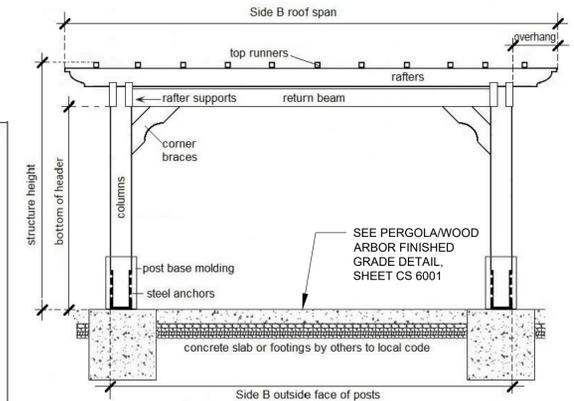
Pergola Model: Classic Freestanding (ground mounted)
Shop Note: 2 beam
Rafters run shorter dimension
Material: Western Red Cedar
Side of structure: Side A: 16 ft 0 in x 10 ft 0 in; Side B: 18 ft 0 in x 12 ft 0 in
Roof span: 18 ft 0 in x 12 ft 0 in
Overhang: 12 in
of columns: 4
Column width: 5 in
Structure height: 9 ft 6 in
Column height: 9 ft 0 in
Bottom of headers: 8 ft 5 in
Rafter support: 2 in x 8 in
Rafters: 2 in x 6 in
Top runners: 2 in x 2 in
Return beams: 2 in x 6 in
Rafter spacing: 16 inches on center
Top runner spacing: 16 inches on center
Corner braces: 2x8 half moon
Rafter tail design: Standard Tail
Post Molding: 16 inches high
Mounted to: Concrete
Anchors: Stainless four-prong
Stain color: [customer input needed]
Options:
Est. Ship Date: 5 weeks from drawing approval
Special:
* post to post (outside face of posts)
** also known as beams or headers

NOTE: COLUMNS TO BE ANCHORED TO CONCRETE FOOTINGS, 12" DIA. X 36" DEPTH.

DETAIL- PERGOLA WOOD ARBOR
N.T.S.



Not to scale. Rafter and top runner spacing governed by chart, not by drawing, which may over or understate the number of rafters or top runners. Must be anchored to concrete slab, concrete footings, or deck. Do not anchor to pavers, flagstone, or bluestone. © Perola Kits USA 2016 (800) 403-9259



Not to scale. Rafter and top runner spacing governed by chart, not by drawing, which may over or understate the number of rafters or top runners. Must be anchored to concrete slab, concrete footings, or deck. Do not anchor to pavers, flagstone, or bluestone. © Perola Kits USA 2016 (800) 403-9259

SEE PERGOLA WOOD ARBOR FINISHED GRADE DETAIL, SHEET CS 6001



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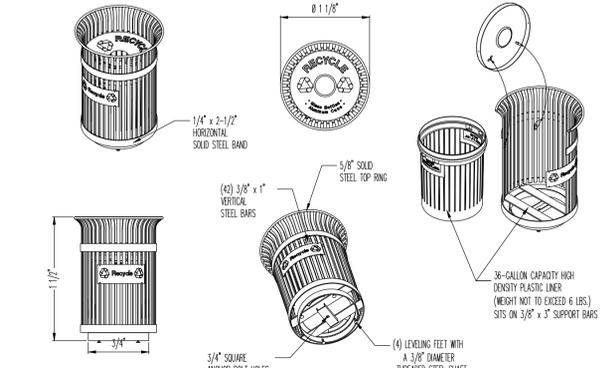
CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA

BOROUGH OF JENKINTOWN
700 SUMMIT AVENUE
JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
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1	3/12/19	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

PROJECT: JENKB 13028
DATE: 2019-01-07
DRAWING SCALE: AS SHOWN
DRAWN BY: DM
APPROVED BY: CEB

PROJECT STATUS: PROJECTED 01/20/2019 11:59 AM BY: Edward Baker PROJECT: PENNONI ASSOCIATES, INC. 3100 HORIZON DRIVE, SUITE 200, KING OF PRUSSIA, PA 19406 TEL: 610.277.2402 FAX: 610.277.7449

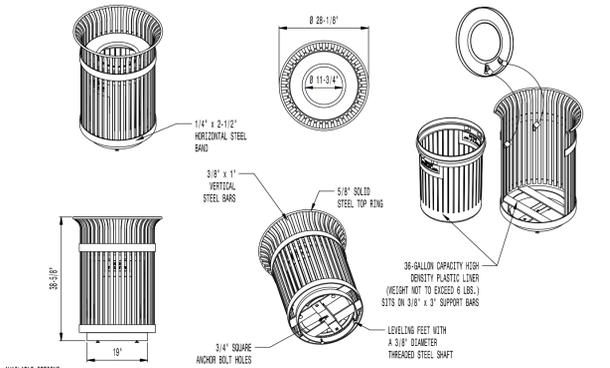


AVAILABLE OPTIONS:
POWDER COATING:
10 STANDARD COLORS, CUSTOM COLORS (INCLUDING THE REAL RANGE)
CUSTOM PLAKES & DECALS
AVAILABLE WITH STEEL PLAKES IN VARIOUS SIZES AND PRESSURE SENSITIVE VINYL OUTDOOR DECALS.

LIDS:
STANDARD TAPERED FORMED LID, AVAILABLE WITH OPTIONAL S-2 FORMED DOME, S-2 FORMED DOME WITH STAINLESS STEEL ASHTRAY, AND S-2 FORMED DOME WITH SELF-CLOSING DOOR.
SECURITY:
LID IS SECURED WITH VINYL COATED GALVANIZED STEEL AIRCRAFT CABLE. CABLE IS LOOPED AROUND WELDED IN PLACE ATTACHMENT BRACKETS AND COMPRESSED IN PLACE. AVAILABLE WITH OPTIONAL MOUNT WITH 3 IN-LINE ANCHOR HOLES AND OPTIONAL BOTTOM PLATE COVER.

NOTES:
1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
2. ALL FABRICATED METAL COMPONENTS ARE STEEL, SHOT-BLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREHEATED, PREHEATED AND COATED WHILE HOT TO FULL CURE AND BUILT FILM COATING. COATED PARTS ARE THEN FULLY CURED TO MEET MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
3. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
4. VICTOR STANLEY, INC., PLASTIC INNER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING CRITICAL MOLDED REIN, INTERNAL HANDHOLES, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE WHILE ATTEMPTING LONG SERVICE LIFE.
5. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
6. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
7. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
8. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

S-42
ROKITES SERIES®
36-GALLON LITTER RECEPTACLE
SHOWING OPTIONAL RECYCLE PACKAGE



AVAILABLE OPTIONS:
POWDER COATING:
10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS,
CUSTOM COLORS (INCLUDING THE REAL RANGE),
CUSTOM PLAKES & DECALS
AVAILABLE WITH STEEL PLAKES IN VARIOUS SIZES AND PRESSURE SENSITIVE VINYL OUTDOOR DECALS.

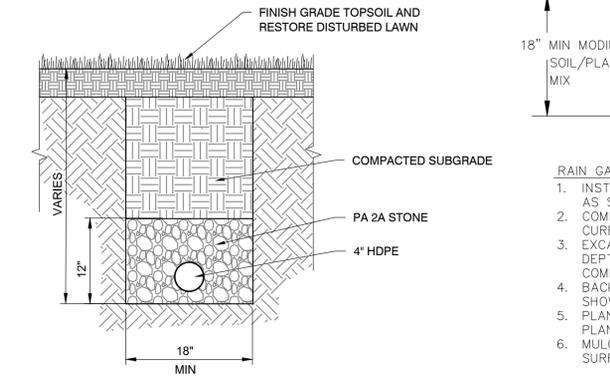
LIDS:
STANDARD TAPERED FORMED LID (AS SHOWN), AVAILABLE WITH OPTIONAL DOME LID, DOME LID WITH STAINLESS STEEL ASHTRAY, DOME LID COVERED LID WITH SELF-CLOSING DOOR, MAIN DOME LID, AND MAIN DOME LID WITH STAINLESS STEEL ASHTRAY.
SECURITY:
LID IS SECURED WITH VINYL COATED GALVANIZED STEEL AIRCRAFT CABLE. CABLE IS LOOPED AROUND WELDED IN PLACE ATTACHMENT BRACKETS AND COMPRESSED IN PLACE. AVAILABLE WITH OPTIONAL MOUNT WITH 3 IN-LINE ANCHOR HOLES (AS SHOWN) AND OPTIONAL BOTTOM PLATE COVER.

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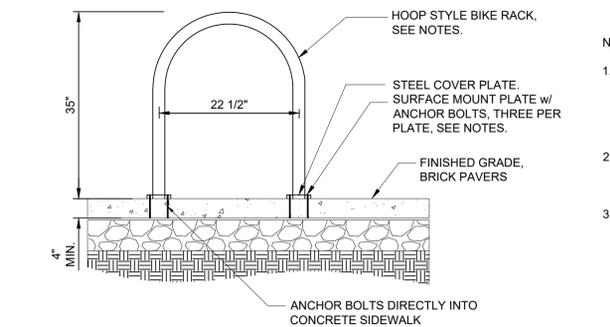
S-42
ROKITES SERIES®
36-GALLON LITTER RECEPTACLE
SHOWING STANDARD TAPERED FORMED LID
OPTIONAL MOUNT WITH 3 IN-LINE ANCHOR HOLES

HDPE DRAIN NOTES:

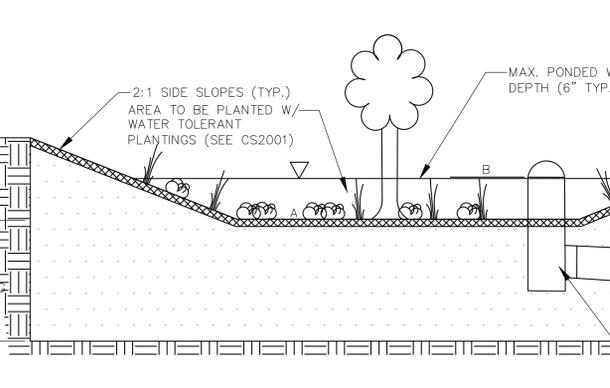
- PIPE TO BE 4" DIAMETER CORRUGATED, SMOOTH INTERIOR, HDPE PIPE WITH SOIL-TIGHT JOINTS. N-12 DUAL WALL HDPE PIPE BY ADS, OR APPROVED EQUAL.
- LOCATION OF PIPE TO BE DETERMINED IN FIELD WITH ENGINEER TO AVOID EXISTING TREES AND TREE ROOTS.
- IF TREE ROOTS ARE ENCOUNTERED, PRUNE ROOTS WITH CLEAN CUTS. DO NOT RIP ROOTS WITH MACHINERY.
- PROVIDE TEMPORARY COVER OVER PIPE END AT PLAYGROUND TO PREVENT DEBRIS FROM ENTERING PIPE.
- DAYLIGHT PIPE IN WOODED AREA AS LOCATED IN FIELD. PROVIDE A FLARED END SECTION FOR 4" DIA. PIPE, PVC, BLACK.



DETAIL- HDPE DRAIN PIPE
N.T.S.



DETAIL- BIKE RACK
N.T.S.



TYPICAL RAIN GARDEN
N.T.S.

RAIN GARDEN CONSTRUCTION SEQUENCE

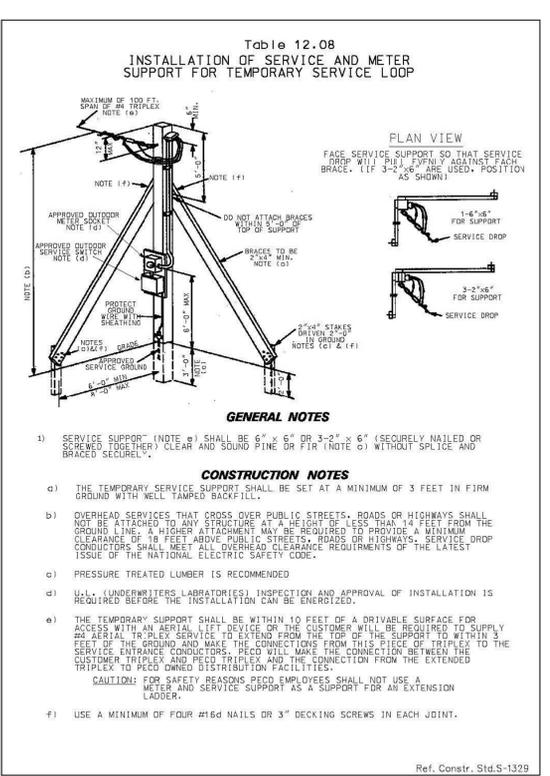
- INSTALL TEMPORARY SEDIMENT CONTROL BMPs AS SPECIFIED ON CS8001 AND CS8501.
- COMPLETE SITE GRADING, INSTALL CURB AND CURB CUTS AS SHOWN ON PLAN, PROVIDE.
- EXCAVATE RAIN GARDEN TO PROPOSED INVERT DEPTH AND SCARIFY SOIL SURFACES. DO NOT COMPACT SOIL SUBGRADE.
- BACKFILL RAIN GARDEN WITH AMENDED SOIL AS SHOWN ON DETAIL.
- PLANT VEGETATION ACCORDING TO LANDSCAPE PLAN, CS2001.
- MULCH AND INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.

INLET ID	A BOTTOM ELEVATION (FT)	B TOP OF GRATE (FT)
RG-OS	314.00	314.50

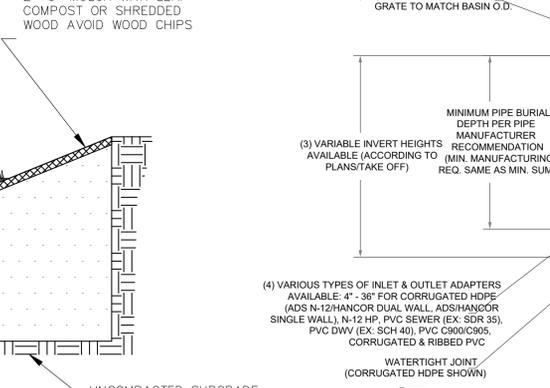
TYPICAL RAIN GARDEN
N.T.S.

NOTES:

- BIKE RACK TO BE CONSTRUCTED OF 2" SCHEDULE 40 STEEL PIPE (2.375" O.D.), HOOP RACK AS MANUFACTURED BY DERO (DERO.COM) OR APPROVED EQUAL.
FINISH: ALL STEEL MEMBERS TO BE COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER POWDER COATING (COLOR: BLACK).
- ATTACH ANCHOR BOLTS MIN. 4" INTO CONCRETE SIDEWALK. CONTRACTOR TO FURNISH CONCRETE ANCHOR BOLTS AS REQUIRED TO SECURE RACK INTO CONCRETE. GROUT ALL JOINTS.
- BIKE RACK MUST CONFORM TO CITY OF PHILADELPHIA BIKE RACK REQUIREMENTS AND PHILADELPHIA STREETS DEPARTMENT COMPLETE STREETS HANDBOOK.

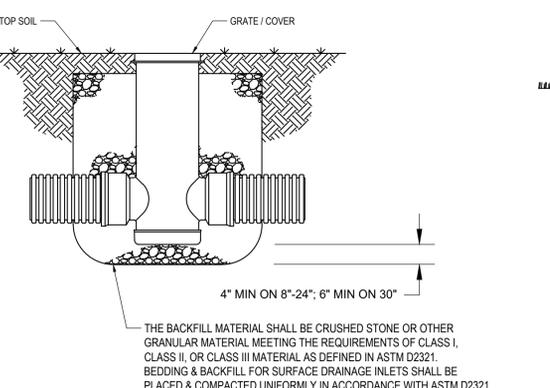


DETAIL- RG-OS - NYLOPLAST DRAIN BASIN WITH DOME GRATE
N.T.S.

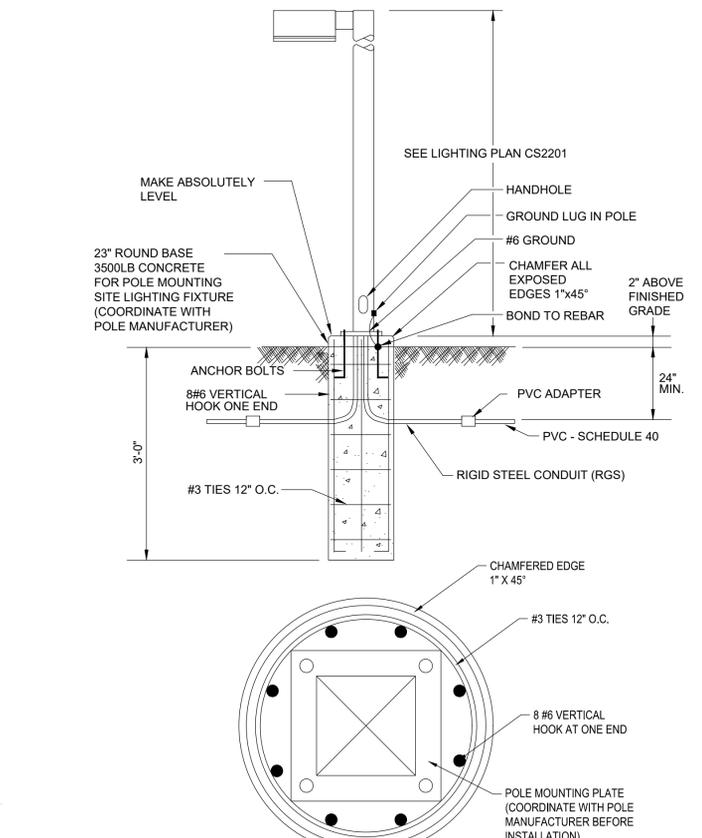


DETAIL- RG-OS - NYLOPLAST DRAIN BASIN WITH DOME GRATE
N.T.S.

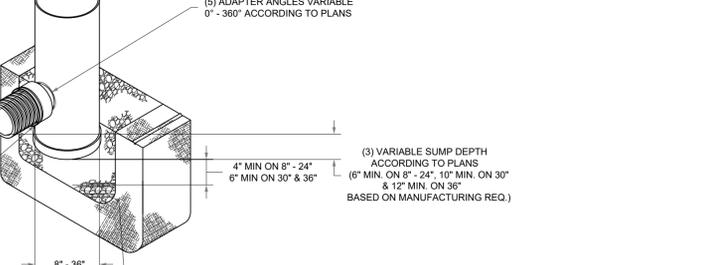
- 4" - 36" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A256 GRADE 70/90/15.
- 4" & 10" DOME GRATES FIT INTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-045.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2122 FOR CORRUGATED HDPE (ADS N-12/HANCOCK DUAL WALL), N-12 HP, & PVC SEWER (EX: SDR 35).
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 4" - 36" DOME GRATES HAVE NO LOAD RATING.



DETAIL- NYLOPLAST DRAIN BASIN - NON-TRAFFIC INSTALLATION
N.T.S.

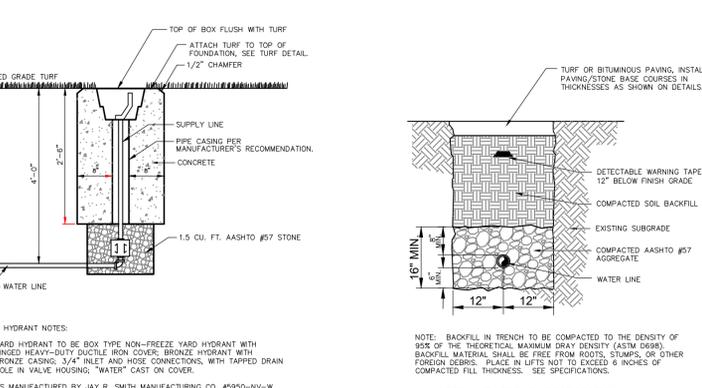


TYPICAL POLE BASE DETAIL
NOT TO SCALE



DETAIL - YARD HYDRANT
NOT TO SCALE

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.



DETAIL - TRENCH RESTORATION
NOT TO SCALE

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CONSTRUCTION DETAILS

CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA

BOROUGH OF JENKINTOWN
700 SUMMIT AVENUE
JENKINTOWN, PA 19046

NO.	DATE	REVISIONS	BY
3	08/10/20	PER MEETING W/ BOROUGH ON 9-8-20	TCD
2	3/10/19	ADDED PERGOLA	EPP
1	3/12/19	REVISIONS TO LANDSCAPING UTILITIES DETAILS	EPP

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED SHALL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OTHERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: JENKB 13028
DATE: 2019-01-07
DRAWING SCALE: NTS
DRAWN BY: DM
APPROVED BY: CEB



PENNONI ASSOCIATES, INC.
 3100 Horizon Drive, Suite 200
 King of Prussia, PA 19406
 T 610.277.2402 F 610.277.7449

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CEDAR STREET PARK
 433-435 CEDAR STREET
 JENKINTOWN, MONTGOMERY COUNTY, PA

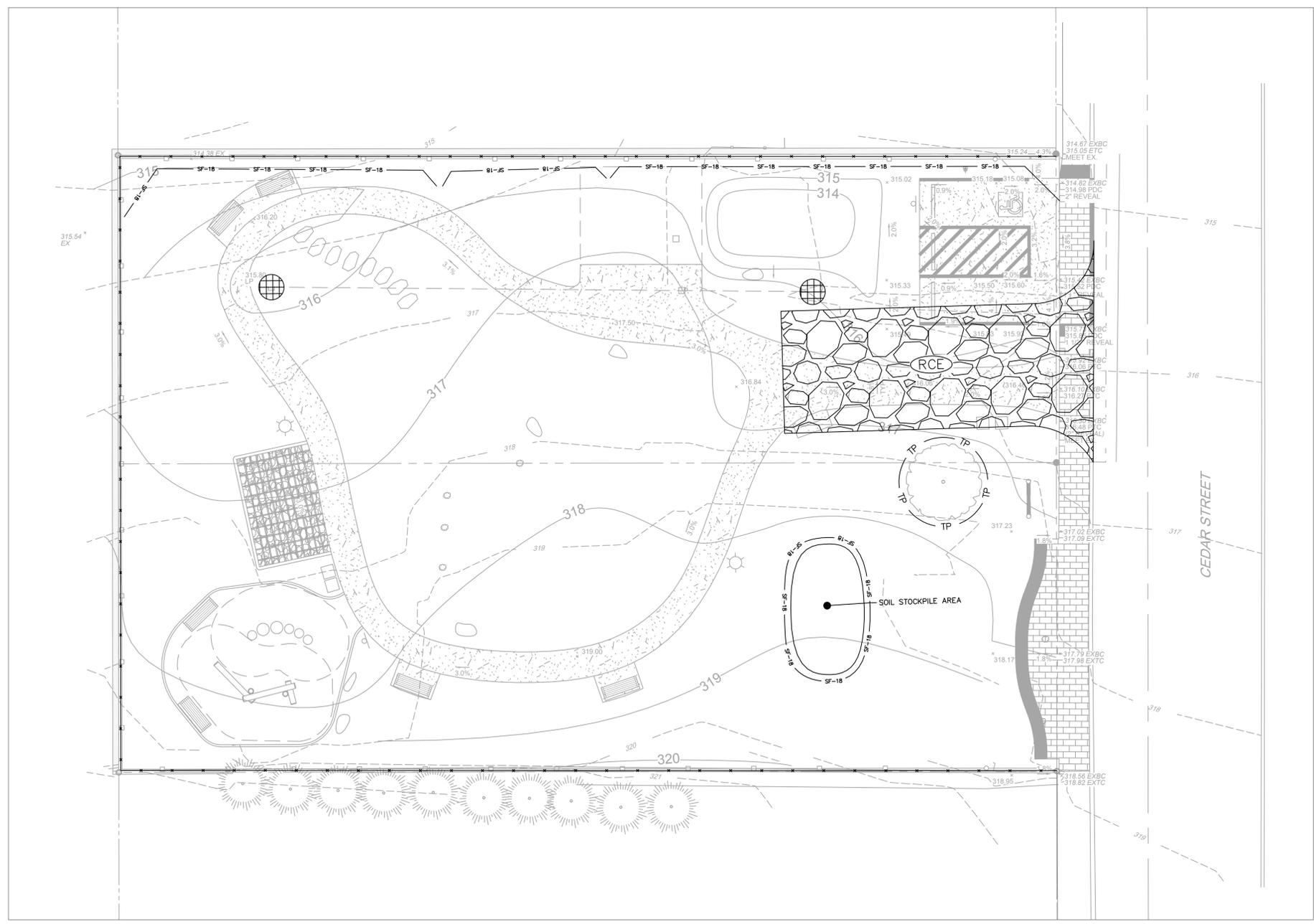
EROSION AND SEDIMENTATION PLAN AND DETAILS

BOROUGH OF JENKINTOWN
 700 SUMMIT AVENUE
 JENKINTOWN, PA 19046

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2	3/19/19	ADDED PERGOLA	EPP
1	3/12/18	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

PROJECT	JENKB 13028
DATE	2019-03-19
DRAWING SCALE	1"=10'
DRAWN BY	EPP
APPROVED BY	CEB
CS 8501	
SHEET 11 OF 12	

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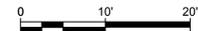
SEQUENCE OF CONSTRUCTION:

1. INSTALL ORANGE SAFETY FENCE COINCIDENT WITH THE LIMIT OF DISTURBANCE LINE AS ILLUSTRATED ON THE PLANS. CONSTRUCTION ACTIVITY IS NOT TO OCCUR BEYOND THE ORANGE SAFETY FENCE.
2. INSTALL ROCK CONSTRUCTION ENTRANCE AS ILLUSTRATED ON THE PLANS.
3. DEMOLISH EXISTING STRUCTURES PER DEMOLITION PLAN (REFER TO CS-0501, EXISTING CONDITIONS AND DEMOLITION PLAN) AND DISPOSE OF IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REQUIREMENTS.
4. INSTALL SILT FENCE AS ILLUSTRATED ON THE PLANS.
5. BEGIN CLEARING AND GRUBBING, REMOVE AND DISPOSE OF ALL MATERIAL IN AN ACCEPTABLE MANNER.
6. COMMENCE BULK EARTHWORK FOR ALL UTILITY, STRUCTURE, SIDEWALK, AND PARKING LOT CONSTRUCTION.
7. CONSTRUCT RAIN GARDEN, STORM STRUCTURES, AND ASSOCIATED PIPING.
8. INSTALL REMAINING UTILITIES.
9. COMMENCE CONSTRUCTION OF SITE IMPROVEMENTS.
10. REMOVE CONSTRUCTION ENTRANCE AND CONSTRUCT PARKING AREA AND SIDEWALK & CURB IMPROVEMENTS.
11. ONCE STABILIZED AREAS HAVE ACHIEVED 70% VEGETATIVE COVER ALL E&S MEASURES MAY BE REMOVED. SEED AND MULCH ALL AREAS DISTURBED FROM REMOVAL OF E&S MEASURES.

*CRITICAL STAGE: DURING CONSTRUCTION OF STORMWATER BMPs A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON THE PROJECT SITE TO DOCUMENT THE INFORMATION AND MEASUREMENTS REQUIRED.

CRITICAL STAGES: (RAIN GARDEN)

1. INSPECT SUBGRADE PRIOR TO PLACING SOIL MEDIA.
2. INSPECT AND VERIFY THAT SOIL MEDIA MEETS DESIGN SPECIFICATION.
3. INSPECT VEGETATION AFTER PLANTING.
4. INSPECT OUTLET STRUCTURES TO VERIFY THEY ARE PER THE DESIGN.



LEGEND - EXISTING:

- CURB
- LIGHT
- SIGN
- FENCE
- STORM INLET
- OH OVERHEAD ELECTRIC
- 46.34 ± SPOT ELEVATION
- 50 CONTOUR
- CONCRETE PAVING
- TREE

LEGEND - PROPOSED:

- CONCRETE PAVER SIDEWALK
- POROUS PAVING
- CRUSHED STONE PAD
- WOOD FENCE
- BENCH
- TREES AND SHRUBS

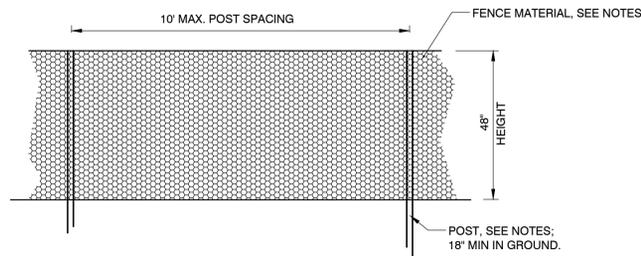
LEGEND - E&S:

- PROPOSED LIMIT OF DISTURBANCE
- SF-18 PROPOSED 18" SILT FENCE
- TP PROPOSED TREE PROTECTION FENCE
- PROPOSED INLET PROTECTION
- RCE ROCK CONSTRUCTION ENTRANCE
- ORANGE CONSTRUCTION FENCE



CALL BEFORE YOU DIG
 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
 CALL 1-800-242-1776
 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
 NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
 BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
 SERIAL NUMBER(S):

U:\Accounts\ENR\ENR13028 - Cedar Street Park\CS8501 - SHEETS\CS8501.dwg PLOTTED: 01/22/2020 10:01 PM BY: Edward Butler PROJECT STATUS: — PLOTTED: 01/22/2020 10:01 PM BY: Edward Butler



FENCE NOTES:

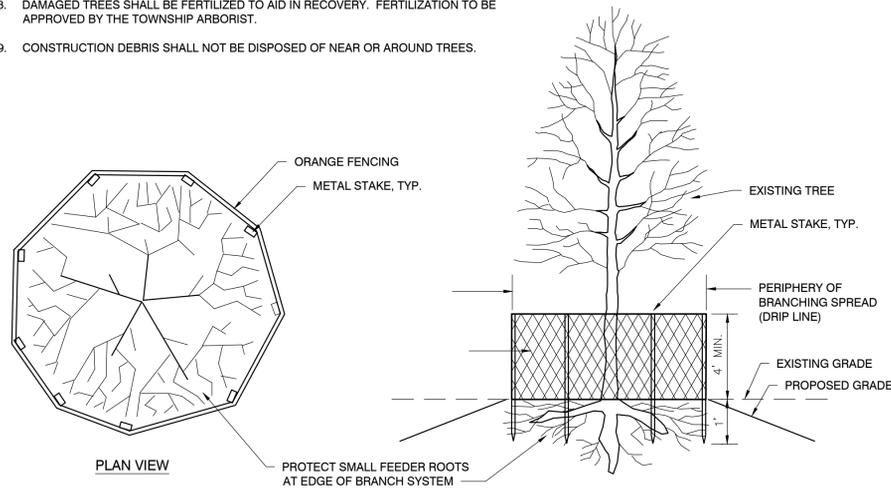
1. INSTALL FENCING AT THE LOCATIONS AS INDICATED ON THE PLAN. IF THE FENCING MUST BE PLACED WITHIN THE DRIP LINE OF THE TREE, PLACE IT AS FAR AWAY FROM THE TRUNK AS POSSIBLE. FENCE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER AND TOWNSHIP ARBORIST BEFORE SITE WORK BEGINS.
2. PRUNING OF TREE LIMBS TO ALLOW FOR MOVEMENT OF CONSTRUCTION EQUIPMENT MAY BE DONE WHERE NECESSARY BY AN ARBORIST IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS. ALL TREE LIMB REMOVAL MUST BE APPROVED BY THE ENGINEER AND THE TOWNSHIP ARBORIST BEFORE SITE WORK BEGINS.
3. DO NOT DRIVE VEHICLES, PARK EQUIPMENT, OR STOCKPILE MATERIALS WITHIN THE DRIP LINE OF ANY TREE.
4. FENCE FABRIC TO BE HEAVY DUTY/HIGH DENSITY POLYETHYLENE FABRIC, ORANGE SAFETY FENCING; MINIMUM TENSILE STRENGTH 350 LBS/FT; DIAMOND MESH 3 1/2' Lx 1 1/2' W.
6. FENCE POSTS TO BE HEAVY DUTY 13 GAUGE STEEL T-POST, WITH STABILIZING ANCHOR PLATE, 66" TO 72" HEIGHT. INSTALL PLASTIC OR VINYL SAFETY CAP ON ALL POSTS. PROVIDE SELF-SUPPORTING STANCHIONS TO SUPPORT FENCE PLACED ACROSS PARKING AREA PAVING.
7. FENCE FABRIC TO BE ATTACHED TO POSTS AT TOP, BOTTOM AND TWO OTHER POINTS AT 16" SPACING. USE WIRE OR ZIP TIES.
8. SUBMIT PRODUCT INFORMATION ON FABRIC, POSTS, AND CAPS FOR APPROVAL.
9. CONTRACTOR MUST CHECK FENCING EVERY DAY AND REPAIR/REPLACE/REATTACH FABRIC AS REQUIRED.

DETAIL- ORANGE CONSTRUCTION FENCE

N.T.S.

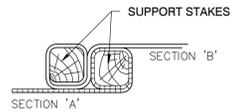
TREE PROTECTION NOTES:

1. SEE ORANGE CONSTRUCTION FENCE NOTES FOR FENCING AND STAKES.
2. THOSE TREES WHICH ARE WITHIN 25-FEET OF ANY PROPOSED EXCAVATION OR GRADING OPERATION, OR IN ANY OTHER LOCATION AS NOTED ON THE PLAN, SHALL BE PROTECTED BY INSTALLING AND MAINTAINING A FENCE AT THE DRIP LINE OF THE TREE.
3. NO BOARDS OR OTHER MATERIAL SHALL BE NAILED OR ATTACHED TO ANY TREE.
4. HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGING EXISTING TREE TRUNKS AND ROOTS. FEEDER ROOTS SHALL NOT BE CUT CLOSER THAN 25-FEET FROM TREE TRUNKS WITHOUT PRIOR APPROVAL.
5. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE BY BEING TREATED IMMEDIATELY BY AN ARBORIST.
6. TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL BE PROPERLY PRUNED AND TREATED IMMEDIATELY.
7. THE OPERATION OF HEAVY EQUIPMENT OVER ROOT SYSTEMS OF TREES SHALL BE MINIMIZED IN ORDER TO PREVENT SOIL COMPACTION.
8. DAMAGED TREES SHALL BE FERTILIZED TO AID IN RECOVERY. FERTILIZATION TO BE APPROVED BY THE TOWNSHIP ARBORIST.
9. CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND TREES.

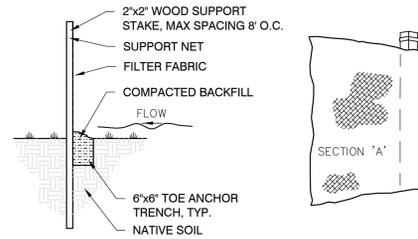


DETAIL- TREE PROTECTION FENCING

N.T.S.

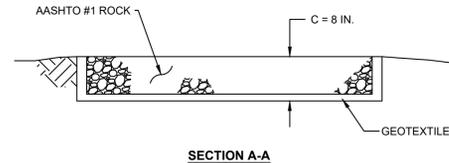
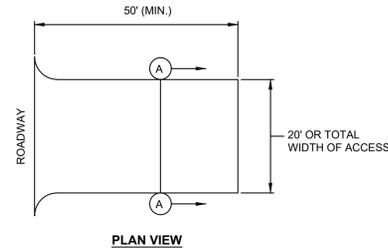


PLAN VIEW-JOINTING SECTION



DETAIL- 18" HIGH SILT FENCE

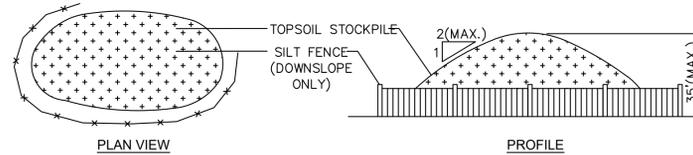
N.T.S.



MAINTENANCE: Rock Construction Entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site.

ROCK CONSTRUCTION ENTRANCE

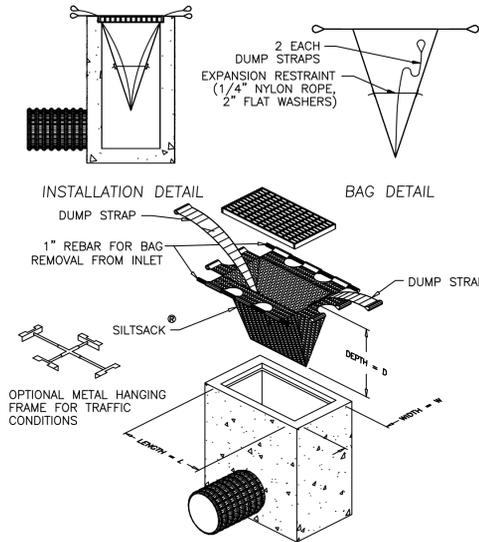
N.T.S.



SILT FENCE MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES WHICH WILL BE IN PLACE FOR 20 DAYS OR MORE.

TOPSOIL STOCKPILE AREA DETAIL

N.T.S.



SILT SACK INLET FILTER DETAIL

NO SCALE



PENNONI ASSOCIATES, INC.
3100 Horizon Drive, Suite 200
King of Prussia, PA 19406
T 610.277.2402 F 610.277.7449

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EROSION AND SEDIMENTATION CONTROL DETAILS

CEDAR STREET PARK
433-435 CEDAR STREET
JENKINTOWN, MONTGOMERY COUNTY, PA

BOROUGH OF JENKINTOWN
700 SUMMIT AVENUE
JENKINTOWN, PA 19046

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2	3/19/19	ADDED PERGOLA	EPP
1	3/12/18	REVISIONS TO LANDSCAPING, UTILITIES, DETAILS	EPP

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE WITHOUT WRITING BY AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT **JENKB 13028**
DATE 2019-03-19
DRAWING SCALE 1"=10'
DRAWN BY EPP
APPROVED BY CEB

CS 8502

HOLIDAY GIVING DRIVE

This holiday season, help bring joy to young crime survivors supported by Victim Services Center of Montgomery County, PA.

We are collecting new toys, books, and gift cards for children in our programs. Your donation can make a meaningful difference and put a smile on a child's face!

Ideas Include:

- **Stuffed animals / plush toys**
- **Dolls or action figures**
- **LEGO or building sets**
- **Art supplies (crayons, markers, sticker books)**
- **Board games or puzzles**
- **Play-Doh or craft kits**
- **Small sports equipment**
- **Prevention Education Supply Needs- fidget toys, journals, stickers, crayons.**



Drop off donations at convenient locations throughout Montgomery County, PA.



MONTGOMERY COUNTY, PA
Office of the Prothonotary
NOAH MARLIER, ESQ.

**BOROUGH OF JENKINTOWN
MONTGOMERY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 2025-4

AN ORDINANCE AMENDING CHAPTER 172, TITLED “VEHICLES AND TRAFFIC,” OF THE CODE OF THE BOROUGH OF JENKINTOWN, TO AMEND SECTION 172-22.I TO MAKE CHANGES TO THE PROHIBITED PARKING SIDES FOR PORTIONS OF CHERRY STREET, HILLSIDE AVENUE AND WEST AVENUE; TO AMEND SECTION 173-34 TO CHANGE A PORTION OF GREENWOOD AVENUE FROM THREE-HOUR TO TEN-HOUR LIMIT PAYMENT PARKING ZONE; AND TO AMEND SECTION 173-25a TO ALLOW CERTAIN TEMPORARY PARKING PERMITS WITHIN PARKING PERMIT ZONES; PROVIDING REPEALER AND SEVERABILITY CLAUSES; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Pennsylvania law, including the Pennsylvania Vehicle Code including 75 P.S. §§ 3353, and 6109, delegates certain powers to local authorities, such as the Borough of Jenkintown, to restrict or regulate the stopping, standing or parking; and

WHEREAS, the Borough of Jenkintown, pursuant to the Borough Code, 8 Pa. C.S.A. §§ 1202 *et seq.*, is authorized to regulate parking, including authorizing parking meters/facilities, setting parking rates, and prohibiting parking in designated locations; and

WHEREAS, Borough Council, after public discussion and consultation with Borough staff, including the Borough Police Department and the Borough Engineer, desires to amend Chapter 172 titled “Vehicles and Traffic” of the Jenkintown Code in order to make targeted revisions relating to prohibited parking sides for portions of Cherry Street, Hillside Avenue and West Avenue; and relating to 10-hour payment parking zone for a portion of Greenwood Avenue; and relating to temporary parking permits within Permit Parking Zones that Council believes will benefit the health, safety and public welfare of Borough residents, business owners and visitors.

NOW THEREFORE, be it, and it is hereby **ORDAINED** by the Jenkintown Borough Council, and it is hereby **ENACTED** and **ORDAINED** by authority of same as follows:

SECTION 1. Part II, titled “General Legislation,” Chapter 172, titled “Vehicles and Traffic,” Article III, Section 172-22 is hereby revised and amended to delete the following highway, side and location:

<i>Name of Highway</i>	<i>Side</i>	<i>Location</i>
<i>Cherry Street</i>	<i>Both</i>	<i>From York Road to Leedom Street</i>

And replace it with the following in appropriate alphabetical order:

<i>Name of Highway</i>	<i>Side</i>	<i>Location</i>
<i>Cherry Street</i>	<i>South</i>	<i>From York Road to Leedom Street</i>

SECTION 2. Part II, titled “General Legislation,” Chapter 172, titled “Vehicles and Traffic,” Article III, Section 172-22 is hereby revised and amended to delete the following highway, side and location:

<i>Name of Highway</i>	<i>Side</i>	<i>Location</i>
<i>Hillside Avenue</i>	<i>North</i>	<i>From Leedom Street to Cedar Street</i>

And replace it with the following in appropriate alphabetical order:

<i>Name of Highway</i>	<i>Side</i>	<i>Location</i>
<i>Hillside Avenue</i>	<i>South</i>	<i>From Leedom Street to Cedar Street</i>

SECTION 3. Part II, titled “General Legislation,” Chapter 172, titled “Vehicles and Traffic,” Article III, Section 172-22 is hereby revised and amended to delete the following highway, side and location:

Name of Highway	Side	Location
West Avenue	North	From Florance Avenue to the railroad station

And replace it with the following in appropriate alphabetical order:

Name of Highway	Side	Location
West Avenue	South/East	From Florance Avenue to the railroad station

SECTION 4. Part II, titled “General Legislation,” Chapter 172, titled “Vehicles and Traffic,” Article IV, Section 172-34 is hereby revised and amended to delete the following highway, rate, side and location from the **Three-Hour Limit Parking Payment Zones**:

<i>Name of Highway</i>	<i>Rate</i>	<i>Location</i>	<i>Side</i>
<i>100 Block Greenwood Avenue</i>	<i>\$0.50/hr.</i>	<i>Between 131 Greenwood Ave and Florance Ave</i>	<i>North Side Only</i>

And add the following highway, rate, side and location to the **Ten-Hour Limit Parking Payment Zones** in appropriate alphabetical order:

<i>Name of Highway</i>	<i>Rate</i>	<i>Location</i>	<i>Side</i>
<i>100 Block Greenwood Avenue</i>	<i>\$0.50/hr.</i>	<i>Between 131 Greenwood Ave and Florance Ave</i>	<i>North Side</i>

SECTION 5. Part II, titled “General Legislation,” Chapter 172, titled “Vehicles and Traffic,” Article III, Section 172-25.a is hereby revised to add the following subsection “C” to the existing language:

C. In addition to a parking permit authorized in Subsection A above, any resident that resides on the listed streets located in a Parking Permit Zone is also authorized to apply for one temporary parking permit for visitors, family members, healthcare providers or such other invitees. Such temporary parking permit requests shall be submitted to the Police Chief or the Chief’s designee on such form as approved by the Police Chief or Borough. The Borough may set by resolution the application process or the required documentation a resident must provide to obtain a temporary parking permit. The fee for such temporary parking permit shall be approved by resolution by Borough Council from time to time and that may be listed in the Borough fee schedule.

SECTION 6. SEVERABILITY. In the event that any section, sentence, clause, or word of this Ordinance shall be declared illegal, invalid or unconstitutional by any Court of competent jurisdiction, such declaration shall not prevent, preclude or otherwise foreclose the validity of the remaining portions of this Ordinance.

SECTION 7. REPEALER. All ordinances or resolutions or parts thereof inconsistent herewith or in conflict with any of the specific terms enacted hereby, to the extent of said inconsistencies or conflicts, are hereby specifically repealed.

SECTION 8. EFFECTIVE DATE. This Ordinance shall take effect and be in force from and after its approval as required by law.

ORDAINED AND ENACTED by the Borough Council of the Borough of Jenkintown, Montgomery County, Pennsylvania this ___ day of _____, 2025.

ATTEST:

JENKINTOWN BOROUGH COUNCIL

GEORGE LOCKE, MANGER

JAY CONNERS
BOROUGH COUNCIL PRESIDENT

APPROVED:

GABRIEL LERMAN, MAYOR



JENKINTOWN BLOCK PARTY PERMIT

APPLICANT:

PHONE #:

LOCATION:

AFFECTED STREET:

DATE/TIME:

Initial all lines

- Street must remain accessible to emergency vehicles
- Permit holder is responsible to ensure all trash and debris is cleaned up
- Loud music must be turned down at 9pm per the Borough's noise ordinance
- Neighbor notification page must provide signatures of 60% or more of affected property owners

APPROVED BY:

Chief Tom Scott, Chief of Police

Kenneth Riggins, Public Works Department

Kevin Lynch, Fire Marshal

George K. Locke, BCO, Zoning Officer

Customer:	Jenkintown Borough	Sales Order	
Customer Address:	700 Summit Avenue Jenkintown, PA 19046	Order #:	00007233
Customer County:	Montgomery	Sales Order Date:	November 13, 2025
Customer Admin Contact:	George Locke	Effective Date:	Date of customer signature below
Customer Admin Phone:	215-885-0700	New/Add-On:	New Logo Core
Customer Admin Email:	glocke@jenkintownboro.com	Sales Rep:	Mark Pryzbylkowski

Investment Summary

Software Services - Subscription	\$21,750.00
Hosting Services	\$4,000.00
Professional Services - Implementation	\$12,750.00
Conversion Services	\$16,000.00
Hardware	\$2,730.00
Year 1 Investment:	
	\$57,230.00

Summary Notes

All Hardware Fees: 100% will be due upon receipt of the invoice. All invoices are payable with Net 30 terms

One-time Implementation Fees: 50% will be due upon execution of the contract, 25% will be invoiced 60 days after the Effective Date and the remaining 25% will be invoiced upon the earlier of project acceptance or first production use.

One-time Data Conversion Fees: 50% will be due upon execution of the contract, 25% will be invoiced 60 days after the Effective Date and the remaining 25% will be invoiced upon the earlier of project acceptance or first production use.

Hosting Services Fees: 100% will be invoiced on the Effective Date for the first annual term. Thereafter, 100% of each subsequent annual fee will be invoiced annually, 60 days prior to each anniversary of the Effective Date.

Annual Subscription Fees: 100% will be invoiced upon execution of the contract for the first annual term. Thereafter, 100% of each subsequent annual fee will be invoiced annually, 60 days prior to the anniversary of the term date.

All invoices shall be paid within 30 days of the invoice date. Fees may increase annually with renewal terms subject to the National Consumer Price Index (CPI) or four percent (4%) of prior year's fees.

Software Services - Subscription	Amount
AR & Business Licensing - 3 Year	\$2,000.00

Software Services - Subscription	Amount
Escrow Accounting - 3 Year	\$2,000.00
Finance Super Suite - 3 Year	\$6,000.00
Finance ViewPoint Dashboard - 3 Year	\$750.00
Online Bill Pay (WIPP) - AR - 3 Year	\$1,000.00
Online Bill Pay (WIPP) - Utility - 3 Year	\$1,000.00
Permitting & Code Enforcement - 3 Year	\$4,500.00
Positive Pay Connector - 3 Year	\$0.00
Utility Billing & Collections - 3 Year	\$4,500.00
Annual Fees:	\$21,750.00

Hosting Services	Amount
Hosting (Level I)	\$4,000.00
Annual Fees:	\$4,000.00

Professional Services - Implementation	Amount
Escrow Accounting Implementation	\$1,000.00
Finance ViewPoint Dashboard Implementation	\$250.00
Online Bill Pay (WIPP) - Implementation	\$500.00
Standard AR/Business Licensing Implementation	\$500.00
Standard Finance Implementation	\$3,500.00
Standard Permitting Implementation	\$3,500.00
Standard Utility Implementation	\$3,500.00
One Time Fees:	\$12,750.00

Conversion Services	Amount
Escrow - Standard Conversion <i>- Project Master Information including Project description, notes, developers</i>	\$2,500.00

Conversion Services	Amount
<ul style="list-style-type: none"> - Developer Master Information including names and mailing addresses - Open Project Balances and year-to-date activity 	
Finance - Advanced Conversion <ul style="list-style-type: none"> Chart of Accounts Summary Account Financial Information for 3 years + current fiscal year budgets - Opening/Ending Balances - Summarized Year to Date Activity - Vendor Master Information - Current Calendar Year 1099 Payment Totals - Fixed Asset Master Information Detailed Financial Information for 3 years + current fiscal year <ul style="list-style-type: none"> - Budget Activity - General Ledger Transactions - Accounts Payable Check History - Open and Paid Purchase Order/Voucher/Invoice/Check History 	\$6,000.00
Permitting - Standard Conversion <ul style="list-style-type: none"> - Contractor and Customer Master Information - Parcel Master Information including property locations, owner names, and mailing addresses - Building Permit activity including permit types, project descriptions, associated fees, inspections, notes for up to 10 years based on issue date - Does not include billing or payment history (invoices). 	\$2,000.00
Rental - Standard Conversion <ul style="list-style-type: none"> - Parcel Master Information - Rental License Master Information including Rental Units, Tenant information, dwelling information, inspections, rental fees for active Rentals in the current year based on issue date 	\$2,000.00
Utility Billing - Advanced Conversion <ul style="list-style-type: none"> - Current Customer Master Account and Bill to Information - Meter Master Information - Current Billing Configuration (Services, cycles, rates, etc.) - Current Open Balance Information for Active and Inactive Accounts (Open balances by service, Penalty, Interest, Deposits, etc.) - Minimum required consumption information needed to calculate next cycle billing by service - Meter Reading History Information for 3 years + current based on reading date - Billing and Payment Transaction History for 3 years + current based on transaction date - Backflow Master Account Information - Backflow Inspector Master Information - Backflow Inspection History for 3 years + current based on inspection date 	\$3,500.00
One Time Fees:	\$16,000.00

Hardware	Quantity	Amount
Epson TM-H6000V-032	1	\$750.00
Ingenico DX4000 <i>Comes with Magic Box Adapter</i>	2	\$1,500.00
Zebra-DS9308 Bar Code Scanner	1	\$480.00
Hardware Fees:		\$2,730.00

Software Services - Subscription Notes	<p>Initial term of the Software Services are a 36 month subscription, commencing 90 days after the Effective Date.</p> <p>Thereafter, the Software Services subscription shall renew automatically for 12-month renewal terms unless written notice is provided by Customer at least 90 days prior to the expiration of the initial or then-current renewal Term. Fees may increase annually with renewal terms subject to the National Consumer Price Index (CPI) or four percent (4%) of prior year's fees.</p>
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Hosting Services Notes	<p>The initial Hosting Services Term shall be 36 months commencing on the Effective Date.</p> <p>The Hosting Services Terms shall renew automatically for 12-month renewal terms at then-current applicable Fees unless written notice is provided by Customer at least 90 days prior to the expiration of the initial or then-current renewal Term. Fees may increase annually with renewal terms subject to the National Consumer Price Index (CPI) or four percent (4%) of prior year's fees.</p>
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Professional Services - Notes	Includes all standard implementations listed under "Professional Services - Implementation".
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Sales Order Notes	<ul style="list-style-type: none"> -Onsite system demonstration held with Borough staff -Remote implementation & training. -Onsite available upon request with travel expenses. -Per Staff Permitting and Rental Licenses are handled in AMS, Violations data conversion is not needed -Quoted data conversion scope of work based on typical projects. -Alternate conversions available upon request and priced accordingly. -Unless quoted, implementation is included with module subscription. -Any post signature acceptance project requests are subject to added costs. -System live dates determined by EGT project management staff. -Estimated system go live scheduled in phases, with initial phase at 15 months and subsequent phases to follow. -Starting Year 2, the Annual Subscription Fees will be due 1/1/27. The 100% subsequent annual fees will follow this anniversary term date.
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**Please return executed Sales Orders
via DocuSign or Email to:
Edmunds GovTech**
SalesOrders@EdmundsGovTech.com
P: 888.336.6999 | F: 609.645.3111
www.EdmundsGovTech.com
Sales Order #: 00007233

_____ THE UNDERSIGNED IS AUTHORIZED TO EXECUTE THIS SALES ORDER ON BEHALF OF CUSTOMER AND ACKNOWLEDGES AND AGREES ON BEHALF OF CUSTOMER THAT (A) ALL SERVICES SET FORTH IN THIS SALES ORDER ARE SUBJECT TO AND GOVERNED BY THE EDMUNDS GOVTECH, INC. SERVICE TERMS AND CONDITIONS AVAILABLE AT THE FOLLOWING URL: <https://go.edmundsgovtech.com/terms> (THE SERVICE TERMS), WHICH ARE INCORPORATED INTO THIS SALES ORDER, AND (B) THIS SALES ORDER, INCLUDING THE SERVICE TERMS, IS THE COMPLETE AND EXCLUSIVE AGREEMENT BETWEEN EDMUNDS GOVTECH (OR OUR AFFILIATE PROVIDING THE SERVICES DESCRIBED HEREIN) AND CUSTOMER CONCERNING THE SUBJECT MATTER HEREOF AND SUPERSEDES ANY PRIOR OR CONTEMPORANEOUS TERMS AND CONDITIONS, INCLUDING ANY PURCHASE ORDER CUSTOMER MAY PROVIDE OR ANY PRIOR COURSE OF DEALING OR USAGE OF TRADE, AND SUCH ADDITIONAL OR DIFFERENT TERMS OR CONDITIONS SHALL HAVE NO FORCE OR EFFECT.

EDMUNDS GOVTECH, INC.

Jenkintown Borough

By: _____	Date: _____	By: _____	Date: _____
Mark Pryzbylkowski Regional Sales Director		George Locke Administrator/Manager	



Jenkintown Borough Payment Schedule

Prepared by: John Wray, Vice President

Proposal Date: 11/13/2025

Year 1 Investment	Amount Due
Subscription Fees (100%)	\$21,750.00
Implementation Fees (50%)	\$6,375.00
Hosting Fees (100%)	\$4,000.00
Hardware (100%)	\$2,730.00
Conversion Fees (50%)	\$8,000.00
Upon Contract Execution: Payment 1	\$42,855.00
Implementation Fees (25%)	\$3,187.50
Conversion Fees (25%)	\$4,000.00
60 Days After Contract Execution: Payment 2	\$7,187.50
Implementation Fees (25%)	\$3,187.50
Conversion Fees (25%)	\$4,000.00
60 Days After Go-Live: Payment 3	\$7,187.50
Total Year 1 Investment	\$57,230.00

Year 2-3 Investment	Amount Due
Subscription Fees (100%)	\$21,750.00
Hosting Fees (100%)	\$4,000.00
Annual Payment	\$25,750.00



YOUR TRUSTED

Paragon HR

HUMAN RESOURCES BUSINESS PARTNER

Your HR Partner Program

Your Trusted HR Resource—When You Need One Most

www.paragonhrconsulting.com

484-797-3326



Support That's There When You Need It

Managing people shouldn't pull you away from running your business. Whether you need help navigating a termination, addressing a workplace concern, or clarifying a policy, our HR Partner Program provides experienced, personalized HR guidance—on call and tailored to your unique organization.

We're not a 1-800 number. We're your ongoing partner—someone who understands your team, your operations, and your goals. And the longer you work with us, the more tailored and useful our support becomes.



What Is Paragon's HR Partner Program?

It's like having an HR resource in your back pocket—someone who's available when it matters most.

From urgent issues like employee terminations to day-to-day support like job descriptions, onboarding, and policy questions, we're your behind-the-scenes HR team. You'll have access to a real person who learns your organization and delivers thoughtful, practical advice that fits your structure, your staff, and your values.

Whether you're managing hourly employees, part-time staff, full-time professionals, volunteers, or a leadership team, we're here to help you make confident, compliant, and people-centered decisions.

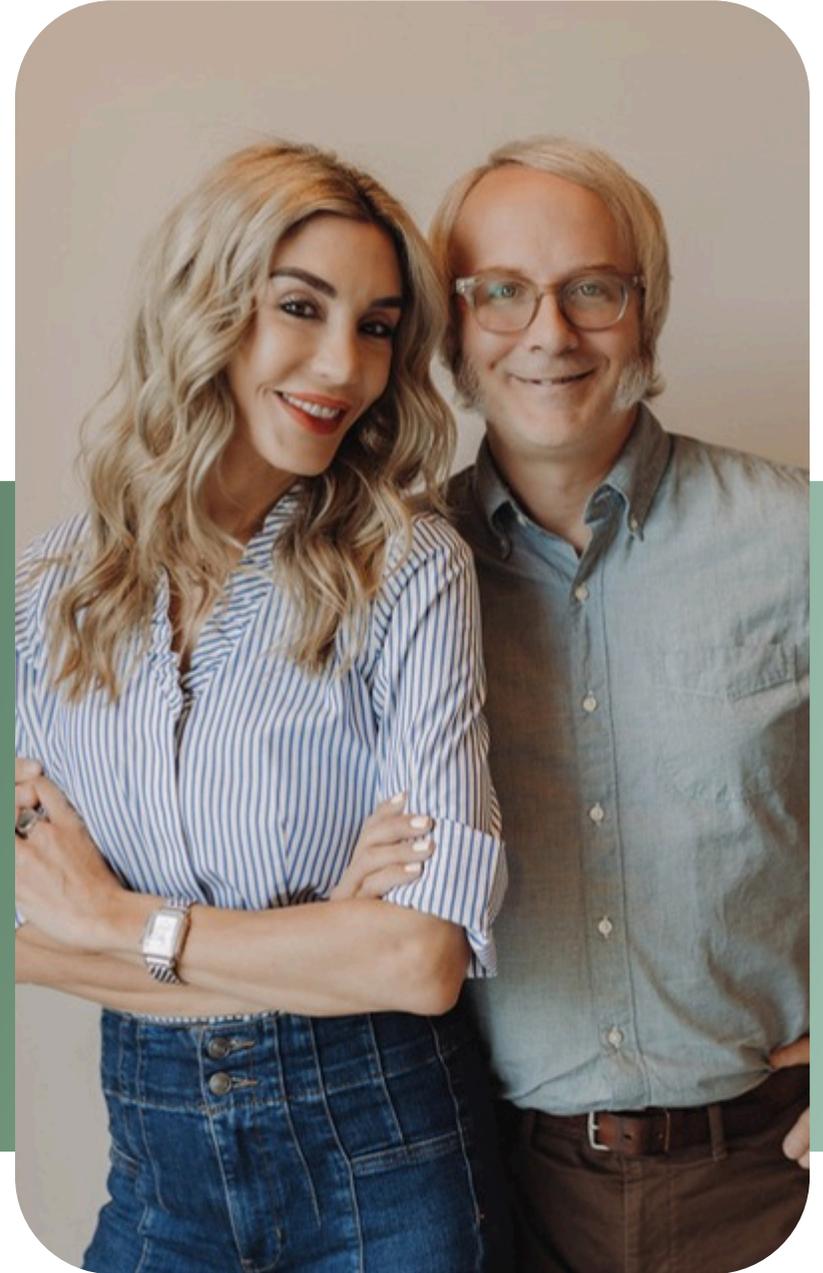




Right-Sized for Every Business

Whether you're a small startup with fewer than 10 employees or a growing organization with multiple departments, this program scales with you.

Think of it as HR insurance—reliable, professional support when you need it most. We guide you through compliance, staffing, strategy, leadership challenges, and more.



How It Works:

✓ 24/7 Access to Your HR Consultant

Call, text, or email anytime—especially during critical moments. You'll always reach someone who knows your organization.

✓ Compliance & Best Practices

Stay up-to-date on changing employment laws and apply them in a way that makes sense for your business.

✓ Employee & Volunteer Relations

Manage performance, address conflict, and support your team with clear and compassionate guidance.

✓ Hiring, Onboarding & Job Descriptions

Create role clarity, set fair wages, and bring new team members on board with confidence and consistency.

✓ Leadership Support & Coaching

From managing teams to navigating tough conversations, we offer coaching and support that strengthens your leadership team.

✓ Policy & Documentation Review

Ensure handbooks, internal policies, and public-facing expectations reflect current laws and standards.

✓ Flexible Use & Rollover Options

There's no cap on hours—just a focus on impact. If usage is low by year-end, you can apply your time toward:

- A custom staff training
- 1:1 leadership coaching
- A full HR audit
- These rollover services are available at a discounted rate to maximize your investment.

Why Choose Paragon HR?

HUMAN RESOURCES BUSINESS PARTNER

We understand the unique challenges employers face—and how HR done right can help you lead more effectively, support your people, and stay legally sound.

We don't just parachute in during emergencies. We build relationships, offering real partnership and support that grows with your team over time.



Our Client Experience



eliminating racism
empowering women
ywca
Lancaster



PROGRESSIVE
DENTAL CONCEPTS



b.i.g.

"Paragon provided this CEO with calm and measured guidance during several periods of challenging human resource issues. They responded quickly to our initial request and whenever questions arose. In one-on-one interactions, they always treated employees with compassion and respect, no matter the situation. Their deep experience enables them to share recommendations grounded in reality, and their frank assessments of our needs helped us make the necessary decisions that are best for our mission."

Stacie Blake

CEO, YWCA Lancaster

"Paragon's diligence and attention to detail were impeccable. Our company is of a transactional nature and with over 200 employees, the challenges are unavoidable. However, Paragon was able to tackle each challenge with a positive attitude and a sense of urgency. Their dedication to ensuring that all matters are addressed is commendable. It truly was a pleasure to work with Paragon."

Charles J. Foer

Chief Operating Officer & Partner, Progressive Dental Concepts

"Paragon has been a key partner to our business. Their team has helped build the HR systems, processes and structure for our company to scale. They also handle the majority of our recruiting/hiring needs that has created capacity for our team to focus on our core business. In addition, their team has gotten to know our industry, staff and company culture to the point they feel like one of the own employees. Overall, Paragon cares about our people and cares about making us successful."

Chris Vogt

President & CEO, Baron Insurance Group



Get Started Today!

Your organization deserves HR support that fits. Let's build something that works for you.



Phone : (484) 797-3326



Website : www.paragonhrconsulting.com



Email : danielle@paragonhrconsulting.com





October 14, 2025

Dear George,

Thanks so much for you and your team's time yesterday afternoon. Following that discussion, I am pleased to present this comprehensive proposal designed to specifically support Jenkintown Borough's current HR needs.

Comprehensive Ongoing HR Support for Jenkintown Borough (32 Employees)

This level of support provides you and your leadership team with everything needed to effectively manage your organization's human resources across both municipal and public safety operations:

General HR Support & Strategic Partnership

- **On-Site & Remote HR Support:** Available for on-site support as needed with 24/7 remote accessibility for urgent matters.
- **Employee Relations:** Serves as a resource for employees with workplace concerns, complaints, or issues while providing comprehensive assistance to management in addressing employee performance, disciplinary challenges, and interpersonal conflicts. Facilitates necessary meetings (as directed by leadership), ensures employees feel heard and supported throughout resolution processes, and prepares all relevant documentation for both municipal and police department personnel.
- **Conflict Resolution & Investigations:** Handles all employee-related investigations, interpersonal conflicts, and policy violations as directed by leadership. Serves as the Borough's HR representative in cases involving EEOC, PHRC, or other employment-related claims.
- **Leave Management & Compliance:** Administrates employee leave programs including FMLA, ADA accommodations, workers' compensation leave, and other statutory leaves. Manages the entire leave process including collecting employee forms and medical documentation, determining eligibility, tracking leave usage, coordinating with medical providers, and communicating with employees throughout their leave. Advises leadership on return-to-work protocols and reasonable accommodation obligations to ensure full compliance with federal and state regulations.
- **Compensation & Policy Management:** Advises on compensation ranges, policies, and procedures to ensure alignment with best practices and legal requirements. Manages the Employee Handbook and updates to or the development of Job Descriptions.
- **Termination Process Management:** Supports leadership with the termination process, including conducting termination meetings (as requested) and preparing and filing all necessary documentation.
- **Exit Interviews:** Conducts exit interviews for departing employees, providing valuable feedback and insights to leadership.



- **Union Negotiations Support:** Strategic support during collective bargaining agreement negotiations, including preparation of proposals, research on comparable municipalities, and participation in negotiation sessions as requested.
- **Comprehensive Hiring Support:** For all municipal positions, including developing and updating job postings, sourcing qualified candidates, coordinating the entire hiring process—phone screenings, interview scheduling, drafting and extending job offers, reference checks, and background screenings.
- **Unemployment Administration:** Manages the unemployment claims process, including timely response to all notices, thorough review of claims for accuracy and eligibility, and preparation of detailed documentation and evidence. Provides strategic guidance on unemployment-related decisions during terminations and tracks claim trends to minimize costs while maintaining compliance.
- **Workers' Compensation & Incident Administration:** Reviews and updates incident reporting forms and processes. Manages the workers' compensation process including prompt claim reporting to carriers, coordination with medical providers, communication with injured employees, leave tracking, modified duty arrangements, and return-to-work protocols. Maintains comprehensive documentation of all incidents and claims, follows up with carriers and medical providers.
- **Comprehensive Benefits Management & Employee Resource:** Serves as the primary resource for all employee benefits questions and concerns. Processes all benefits changes, additions, and deletions efficiently, ensuring employees receive timely support during life events, enrollment periods, and coverage modifications.
- **Strategic Benefits Optimization:** Works to better align benefits programs and renewal dates across carriers for administrative efficiency. Implements automated portals and self-service systems that modernize enrollment, streamline insurance coordination across all coverages (health, dental, vision, life, disability, and supplemental), and reduce administrative burden while improving the employee experience.

Timing

With regards to timeframe, this arrangement can commence immediately upon execution of this agreement.

Investment: \$2,500 per month

Contracts that begin on the first of the month will be due upon contract commencement, with payments due on the first of the month. Contracts that begin in the middle of a month will be prorated accordingly, with subsequent payments due on the first of each month.

This agreement shall continue on an ongoing basis unless terminated with ninety (90) days' written notice. The ninety-day notice period will begin on the next standard billing date following notice. All outstanding invoices must be paid in full upon notice of contract termination.

The signatures below indicate acceptance of the details, terms, and conditions in this proposal, and provide approval to begin work as specified.



Paragon Consulting Group, LLC

Jenkintown Borough

Danielle Stewart, President

Authorized Signature

10/14/2025

Date

Date

Disclaimer - Paragon Consulting Group, LLC provides human resources consulting services and does not provide legal advice or representation. The information provided pursuant to this proposal and the resulting work product is based solely on expertise and knowledge gained through experience and education in the field of human resources. Our consultants are not attorneys and they do not practice law. Certain products and services may include the involvement of attorneys, when noted. However, in those instances, outside law firms that are completely unaffiliated with Paragon Consulting Group will be engaged and the names of those firms will be divulged. Contracting with Paragon Consulting Group does not create an attorney-client relationship and should not be viewed as a substitute for securing legal advice.



THE REASONS WHY PENNSYLVANIA BOROUGHES CHOOSE TO HIRE PORTNOFF LAW ASSOCIATES

Over 35 Years of Collection Experience

Portnoff Law Associates (PLA) is a Pennsylvania law firm with over 35 years of experience collecting delinquent real estate taxes and delinquent municipal claims, such as water, sewer and trash fees, stormwater fees, tapping fees, levee fees, and fire marshal, streetlight, capital improvement, and abatement of nuisance charges. Our team of over 90 employees, including over 20 attorneys, is ready to assist your borough in all aspects of delinquent account collection, including: review and preparation of enabling ordinances and resolutions, assessment of billing practices, forensic auditing, data analysis, bankruptcy filings, tax exemptions, and representing the borough in legal challenges to the underlying claims. In 2025, we represent over 200 municipal clients in 31 Pennsylvania counties, including over 40 boroughs.

Legal Focus

Since its inception, PLA has been at the forefront of collecting delinquent municipal claims and real estate taxes in Pennsylvania. We helped successfully lobby for passage of legislation in 1996 that allows municipalities to shift the fair and reasonable costs of collection to the delinquent property owner. This cost-shifting allows our clients to use PLA and still receive 100% of their money. We represent boroughs that are large and small, urban, suburban and rural, wealthy and distressed, and everything in between. Our experience allows us to work with our clients to create a customized collections program based upon the unique needs of the community. At no additional cost, we will administer a hardship program that is available to owner-occupants experiencing financial difficulty, allowing them to pay according to their means.

Results for Boroughs

Clients confirm that PLA collects more money, faster than internal efforts. The shifting of collection fees and costs provides a strong incentive for property owners to pay their delinquent accounts quickly and to pay future obligations on time. This often results in an increase in our clients' current collection rates. All funds collected are remitted weekly, together with detailed payment information, giving our clients almost immediate use of their money. Our high level of professionalism results in positive relations with most delinquent property owners, and we regularly receive notes of appreciation from them. We believe the vast majority of your property owners who pay their bills in a timely manner will be pleased that all property owners will now be asked to pay their fair share.

Contact information: Kevin Buraks, Esquire
(484) 690-9332
kburaks@portnoffonline.com



OVERVIEW OF THE PORTNOFF PROCESS TM

Step I: Validation Notice: \$25 per notice

Each property owner subject to consumer protection statutes will be provided with a validation notice via first class mail at the start of the collection process. This validation notice provides the property owner with forty days to pay or dispute the debt. We prepare and mail out this notice on behalf of our clients, and the notice charge may be added to the delinquent claim. We answer all telephone calls in response to the notice, negotiate all payment plans, administer a hardship program, and handle all payments.

Step II: Notice of Delinquent Claim and Fee Shifting: \$40 plus postage

Pennsylvania law requires that a municipality provide notice by certified mail, return receipt requested, to the property owner at least 30 days in advance of assessing legal fees in connection with the collection of a delinquent municipal claim or real estate tax. We prepare and mail out this notice on behalf of our clients. The notice charge and postage may be added to the delinquent claim. We answer all telephone calls, negotiate all payment plans, administer a hardship program, and handle all payments. Prior to assessing any charges or fees, the borough must enact an ordinance adopting a schedule of fees to be assessed.

Step III: Review of Claims and Issuance of Legal Demand Letter Legal Fee Assessed Against Delinquent Property Owner: \$175

We review the file to ensure that the property owner was properly served with the notice of delinquent claim and fee shifting. If properly served, we prepare and mail a legal demand letter, which advises the property owner that a lien will be filed against the property in the absence of a response.

Step IV: Issuance of Lien Legal Fee Assessed Against Delinquent Property Owner: \$250

We prepare and file a lien against the property and issue a notice to the owner that a lien has been filed. Upon the filing of the lien, statutory interest will begin to accrue for the borough at a rate up to 10% per annum.

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Step V: Issuance of Writ of Scire Facias
Legal Fee Assessed Against Delinquent Property Owner: \$250

We prepare, file and monitor service of a writ of scire facias. A writ of scire facias is akin to a civil complaint and is served by the sheriff on in-state property owners. When an owner is absent, we conduct a detailed investigation of the file history and public records to determine the best and most cost-efficient method of obtaining service. To the extent that a legal defense is raised by the property owner in opposition to the writ of scire facias, we have the expertise and resources to litigate the case on behalf of the borough. Additional legal fees and costs may be assessed against the delinquent property owner to obtain service or to litigate a defense raised by the property owner.

Step VI: Notice of Intention to File Judgment for Want of an Answer
Legal Fee Assessed Against Delinquent Property Owner: \$50

We verify that service of the writ of scire facias was accomplished by the sheriff. If no defense is entered, we issue a notice to the property owner of our intention to file a judgment for want of an answer.

Step VII: Judgment
Legal Fee Assessed Against Delinquent Property Owner: \$175

We prepare and file the paperwork necessary to secure a judgment against the property. We send a final demand letter advising the delinquent property owner of the risks and costs associated with a sheriff's sale and afford an additional 30 days to contact our office to make payment arrangements.

Step VIII: Sheriff's Sale
Legal Fee Assessed Against Delinquent Property Owner: \$800

The final step in the collection process involves the preparation and filing of the paperwork necessary to expose the property to sheriff's sale. The process is labor intensive because Federal law and Pennsylvania law both require that notice be afforded not only to the delinquent property owner, but also to all other parties who may have an interest in the property, including mortgage holders, judgment creditors, and other municipalities and taxing authorities. The writ of execution requires a large deposit with the sheriff that varies by county. We advance this cost on behalf of the borough. We will send a list of properties to the borough before this step to afford the borough an opportunity to comment on said sales prior to their listing.

All of the above charges also include: responding to telephone and written inquiries by the property owner; preparing, mailing and monitoring applications for hardship consideration; confirming payment plans in writing; posting and remitting payments; and responding to inquiries into any issues raised by the property owner. We maintain detailed records of all communications involving the delinquent account, which are available to the borough at any time.



FREQUENTLY ASKED QUESTIONS

How will property owners react to the Borough hiring Portnoff Law Associates (PLA)?

Property owners who pay their municipal fees and taxes in a timely fashion will be pleased to know that all property owners are being asked to pay their fair share. As for delinquent property owners, PLA prides itself on providing exemplary customer service, often receiving thank you notes from property owners who appreciate the professional manner in which they were treated by our firm. PLA is a law firm with references throughout Pennsylvania, with over 35 years of experience representing municipal clients. We have a friendly, highly trained staff of over 90 employees (including over 20 attorneys) that aims to treat every property owner with courtesy and respect. We work hard to accommodate each individual's unique situation through the administration of payment plans and our hardship program.

How much will it cost the Borough to utilize PLA's services?

Under Pennsylvania law, the fair and reasonable costs of collection may be assessed against the delinquent property owner, so that the Borough and timely-paying property owners do not bear the burden of this expense. The Borough will be invoiced a charge of \$40 plus postage per account to cover the costs of providing the required notice of delinquent claim and fee shifting to each delinquent property owner who did not make payment in response to the initial validation notice. This amount is added to the claim and reimbursed to the Borough upon payment. If legal proceedings are then required, PLA will advance all legal fees and costs on behalf of the Borough and will seek reimbursement from the delinquent property owner. By shifting all collection costs and fees to the delinquent property owner, PLA can collect and remit 100% of the delinquent claim to the Borough. The Borough must pay an annual fee of \$2,500 per year for the first two years of the contract unless it places at least 50 collectible accounts with PLA at the initial placement. If the Borough is interested in other services, such as data reconciliation or organization, bankruptcy representation, or collection of other types of debts, a fee will be proposed after review of the specific parameters of the engagement.

What are the benefits of using PLA to collect the Borough's delinquent real estate taxes?

1. PLA actively collects on each account during the first year of delinquency, evaluating each account according to its individual set of circumstances. Because PLA's first collection step only comes at a cost of \$25 to the taxpayer, payment can be made quickly with minimal financial burden to the taxpayer. PLA remits all funds collected weekly, giving the Borough almost immediate use of its money.
2. PLA allows the Borough to retain local control over the entire collection process, with the ability to increase collections through the implementation of payment plans and a hardship program. PLA can pursue delinquent taxpayers as aggressively or leniently as the Borough deems appropriate.
3. PLA's collection process creates incentives that frequently result in an increase not only in delinquent collections, but in the Borough's current tax collection rate, due to a reduction in future delinquencies. For every account that is subsequently paid on time, the Borough will eliminate paying a 5% commission to the county.

How will PLA's collection services affect the Borough's future collection efforts?

Under The Portnoff Process, delinquent property owners are provided with an immediate incentive to promptly make payment, due to the addition of legal fees and costs if PLA's collection efforts are ignored. By providing strong incentives to make payment, many clients report a decrease in their overall delinquency rate during subsequent years of our representation. By hiring our firm, the Borough sends a strong message to its property owners that it is serious about collecting its delinquent accounts, and many property owners subsequently meet the expectation of a timely payment going forward.

When will the Borough receive the funds collected by PLA? How will the Borough be updated on the progress of delinquent accounts?

We begin to remit funds collected as soon as we have all the necessary data, conduct our internal review and verification of the data, and post the first payments. PLA will typically remit to the Borough all face, penalty and interest collected on a weekly basis through electronic ACH transfer. The remittance statement clearly identifies who has paid, the amount of the payment, and the account against which the payment has been applied. This weekly accounting affords the Borough almost immediate use of its money and enables it to track its receivables with transparency and accuracy.

How does the Borough ensure that those property owners who cannot pay are treated fairly?

PLA offers property owners the ability to pay their delinquency through a payment plan according to the parameters established by the client. Typical plan parameters permit three months for balances over \$500, and six months for balances over \$1,500. PLA also administers a hardship program at no cost to the Borough or the property owner. The hardship program is designed to help low-income owner-occupants pay the delinquency owed on their homes. Once a property owner is deemed a hardship, it is their ability to pay that drives the payment arrangement. There is no minimum payment that we will accept (although the Borough has the option to establish one), and there is no surcharge for a long-term hardship payment plan.

How do delinquent property owners contact PLA and make payment?

PLA's comprehensive website provides delinquent property owners with 24/7 access to look up their delinquent balances, complete a hardship application, and make payment. If property owner questions cannot be answered by the FAQ section of PLA's website, trained representatives are ready to speak with delinquent property owners on PLA's toll-free line Monday through Friday between the hours of 9:00 A.M. and 4:30 P.M. PLA employs English and Spanish speaking employees to answer calls. In addition to accepting payments via mail or at PLA's office locations, PLA offers online payment options via ACH transfer, credit card and debit card.

Will the Borough own real estate?

The Borough will not own real estate due to PLA's sheriff's sale process unless it specifically chooses to do so. PLA's collection process creates incentives early in the process to negate the need to list a property for sale. In 2024, PLA listed 600 properties for sheriff's sale (0.68% of the approximately 88,000 delinquent accounts turned over to PLA for collection). Of the properties listed for sale, 25 properties were subsequently sold (approximately 0.02% of all accounts), all of which were purchased by third-party bidders.

How does the law firm of Portnoff Law Associates differ from companies that want to purchase liens outright?

Third-party lien purchasers can charge transaction fees that significantly cut into the value of the short-term financial benefit gained from the sale, and buy-back requirements at the end of the contract in some scenarios transform the sale into a high-interest loan. Furthermore, the sale may be invisible to the taxpayer, so there is little incentive to change the delinquency pattern. PLA has a track record showing a reduction in the delinquency rate for many of its clients.

What is the relationship between PLA and the County Tax Claim Bureau?

Pennsylvania law requires all taxing districts to make a return of their delinquent real estate taxes to the county tax claim bureau. Depending on the county, this return may trigger an obligation on the part of the taxing district to pay the tax claim bureau a 5% commission upon collection of the tax, regardless of whether the tax is collected through the efforts of the bureau or a private collector. If PLA is retained, the Borough must instruct the tax claim bureau to refrain from collecting the delinquent taxes in order to avoid multiple demands from different collectors for the same debt. If instructed, PLA will remit 5% of the tax and penalty collected to the county tax claim bureau on behalf of the Borough.

What time commitment is required on the part of the Borough?

PLA requires a point person at the Borough to answer factual questions and provide instructions to PLA when needed. It is estimated that the time commitment is less than four hours per month in the first year, and often less in subsequent years.

What steps does the Borough need to take to hire PLA?

The Borough needs to sign a contract and enact an ordinance authorizing PLA's fee schedule as the fair and reasonable costs of collection, which fees will be shifted to the delinquent property owner. PLA will meet with a Borough representative to review payment and collection parameters. Once we receive the data in satisfactory form, we will commence collection proceedings.

Whom can I contact for additional information?

Please contact Kevin Buraks at kburaks@portnoffonline.com or (484) 690-9332 with any questions or for additional information.



PORTNOFF LAW ASSOCIATES' PAYMENT PLANS AND HARDSHIP PROGRAM

PLA's Payment Plans

All property owners are advised in the notice of delinquent claim and fee shifting of the availability of payment plans according to the parameters established by the client. Typical plan parameters permit three months for balances over \$500, and six months for balances over \$1,500.

PLA's Hardship Program

All property owners are advised in the notice of delinquent claim and fee shifting of the availability of a hardship program for owner-occupants experiencing financial difficulty. An eligible property owner must contact our office and complete an application that asks for information concerning the owner's income and expenses. The application may be obtained by calling our office or going to our website. We ask the property owner to propose a payment plan, and we evaluate the proposal considering the balance due and financial circumstances. To avoid embarrassment and to ensure uniform treatment, we ask our clients to delegate to our office the responsibility of evaluating completed hardship applications. We may seek guidance from our clients when the proposed payment plan does not seem appropriate. In many situations, the proposal is deemed appropriate, and the debt is paid over an extended time period, without additional fees or costs. Information concerning the identity of those property owners on hardship plans and the amounts to be paid is available to our clients.



HARDSHIP APPLICATION

Record Owner(s):							
Property Address or Tax Parcel Number:							
Age of record owner(s):		< 20	20-30	31-40	41-50	51-60	61-70 70+
Name and relationship of person completing this form if different than record owner:							
Total Household Annual Gross Income (check one):		\$10K	\$10K-\$30K	\$30K-\$50K	\$50K-\$70K	\$70K+	
Number of people in household and ages of each individual (list):							

Contact Information	
Mailing Address of record owner:	
Email Address of record owner* (optional – see below):	
Telephone Number of record owner:	

**I hereby acknowledge that by providing my email address above, I am either:*

- 1. Certifying that no person other than me has access to this email address; OR*
- 2. Authorizing and granting permission to PLA to use this method of contact even though third parties may have access to the communication.*

Name Each Person Contributing to Household	Gross Amount per Month	Type of Income (i.e. employment, rental income, SSI, SSD)
	\$	
	\$	
	\$	

Assets	Value
401K:	\$
CD or Savings Account:	\$
Real Estate:	\$

Your Monthly Payment Proposal	Your Monthly Due Date Proposal	Proposed First Payment Date
\$	_____ day of each month	____/____/____

(OPTIONAL) I believe these additional circumstances affect my ability to pay:

Expenses	Amount per Month	Additional comments (seasonal changes, upcoming
Mortgage Payment:	\$	
Rent Payment:	\$	
Car Payment(s):	\$	Please list year, make, and model of vehicle(s).
Car Insurance:	\$	
Other Loan Payment(s):	\$	Please list the type of loan.
Credit Card Payment(s):	\$	
Support Payments:	\$	
Heating Bill:	\$	
Electric Bill:	\$	
Water Bill:	\$	
Sewer Bill:	\$	
Trash Bill:	\$	
Home Phone Bill:	\$	
Internet Bill:	\$	
Cable Bill:	\$	
Cell Phone Bill:	\$	
Income Taxes:	\$	
Real Estate Taxes:	\$	
Medical Bills:	\$	
Prescriptions:	\$	
Medical Insurance:	\$	
Other Insurance:	\$	Please list type of insurance.
Groceries:	\$	
Other Bill(s):	\$	Please list type of bill.

I, _____, certify that I am the record owner of the property set forth herein, and that I have read the above and agree to these conditions. I understand that I am not obligated to agree to the above or to provide an email address in order to qualify for hardship consideration. I understand that I have a continuing obligation to inform Portnoff Law Associates, Ltd. of any improvement to financial circumstances which would permit payment of the delinquent balance herein.

Signature: _____ Date: _____

Kindly complete the application in its entirety and return it to **Portnoff Law Associates, Ltd.**

By E-mail: RequestHardship@portnoffonline.com

By Fax: (484) 690-9301

By Mail: Portnoff Law Associates, Ltd.
P.O. Box 351
Norristown, PA 19404

SAMPLE REMITTANCE REPORT

Summary Report

Delinquency Type	Face	Penalty	Reimbursement of Notice Expense	Interest	Remit to Borough	Court Costs	Attorney Fees
Trash Fees	5,559.74	555.98	406.17	119.79	6,641.68	87.00	640.00
Real Estate Taxes	19,540.75	1,954.06	315.91	381.59	22,192.31	58.00	1,300.00
Sewer Fees	5,930.64	593.07	315.91	111.97	6,951.59	58.00	890.00
Grand Total	31,031.13	3,103.11	1,037.99	613.35	35,785.58	203.00	2,830.00

Detailed Report

Creditor	Year of Delinquency	Type of Delinquency	Lot and Block No.	Property Address	Property Owner	File Number	Face	Penalty	Notice Expense	Interest	Remit	Court Costs	Attorney Fees
Borough	2024	Trash fees	123-A-456	Property 1	Owner 1	25-19021-0	166.00	16.60	-	4.25	186.85	29.00	
Borough	2024	Trash fees	123-A-456	Property 2	Owner 2	25-19067-0	353.58	35.36	45.13	5.27	439.34	-	160.00
Borough	2024	Trash fees	123-A-456	Property 3	Owner 3	25-20208-0	264.15	26.42	45.13	11.17	346.87	-	-
Borough	2024	Trash fees	123-A-456	Property 4	Owner 4	25-20231-0	214.14	21.41	45.13	3.77	284.45	-	160.00
Borough	2024	Trash fees	123-A-456	Property 5	Owner 5	25-20267-0	470.53	47.05	45.13	-	562.71	-	-
Borough	2024	Trash fees	123-A-456	Property 6	Owner 6	25-20322-0	1,711.46	171.15	45.13	40.22	1,967.96	29.00	160.00
Borough	2024	Trash fees	123-A-456	Property 7	Owner 7	25-20323-0	1,794.46	179.45	45.13	39.54	2,058.58	29.00	160.00
Borough	2024	Trash fees	123-A-456	Property 8	Owner 8	25-19176-0	180.38	18.04	45.13	6.81	250.36	-	-
Borough	2024	Trash fees	123-A-456	Property 9	Owner 9	25-19216-0	202.52	20.25	45.13	4.38	272.28	-	-
Borough	2024	Trash fees	123-A-456	Property 10	Owner 10	25-19217-0	202.52	20.25	45.13	4.38	272.28	-	-
Borough	2024	Real estate taxes	123-A-456	Property 11	Owner 11	25-19227-0	131.14	13.11	-	4.08	148.33	-	-
Borough	2024	Real estate taxes	123-A-456	Property 12	Owner 12	25-19237-0	2,397.04	239.70	45.13	51.32	2,733.19	29.00	410.00
Borough	2024	Real estate taxes	123-A-456	Property 13	Owner 13	25-19251-0	77.43	7.74	-	-	85.17	-	160.00
Borough	2024	Real estate taxes	123-A-456	Property 14	Owner 14	25-19270-0	15,120.94	1,512.09	45.13	306.04	16,984.20	29.00	410.00
Borough	2024	Real estate taxes	123-A-456	Property 15	Owner 15	25-19273-0	145.02	14.50	45.13	-	204.65	-	-
Borough	2024	Real estate taxes	123-A-456	Property 16	Owner 16	25-19278-0	206.71	20.67	45.13	10.03	282.54	-	-
Borough	2024	Real estate taxes	123-A-456	Property 17	Owner 17	25-19291-0	492.42	49.24	45.13	-	586.79	-	160.00
Borough	2023	Real estate taxes	123-A-456	Property 18	Owner 18	25-19299-0	70.67	7.07	-	-	77.74	-	-
Borough	2024	Real estate taxes	123-A-456	Property 19	Owner 19	25-19302-0	188.90	18.89	45.13	-	252.92	-	-
Borough	2024	Real estate taxes	123-A-456	Property 20	Owner 20	25-19325-0	710.48	71.05	45.13	10.12	836.78	-	160.00
Borough	2024	Sewer fees	123-A-456	Property 21	Owner 21	25-19353-0	1,522.22	152.22	45.13	24.89	1,744.46	29.00	410.00
Borough	2024	Sewer fees	123-A-456	Property 22	Owner 22	25-19356-0	292.75	29.28	45.13	-	367.16	-	-
Borough	2024	Sewer fees	123-A-456	Property 23	Owner 23	25-19397-0	268.92	26.89	45.13	7.07	348.01	-	-
Borough	2024	Sewer fees	123-A-456	Property 24	Owner 24	25-19403-0	609.22	60.92	45.13	14.58	729.85	-	160.00
Borough	2024	Sewer fees	123-A-456	Property 25	Owner 25	25-19407-0	409.89	40.99	45.13	-	496.01	-	-
Borough	2024	Sewer fees	123-A-456	Property 26	Owner 26	25-19502-0	184.92	18.49	-	-	203.41	-	-
Borough	2024	Sewer fees	123-A-456	Property 27	Owner 27	25-19510-0	2,259.26	225.93	45.13	55.33	2,585.65	29.00	160.00
Borough	2024	Sewer fees	123-A-456	Property 28	Owner 28	25-19511-0	383.46	38.35	45.13	10.10	477.04	-	160.00
							31,031.13	3,103.11	1,037.99	613.35	35,785.58	203.00	2,830.00

CLIENT TESTIMONIALS

"For some time now you have provided a much needed and successful service through your efforts on behalf of Cheltenham Township in the collection of our delinquent real estate taxes. From my experience your staff has without fail always been very professional and attentive to their responsibilities. ... I would expect nothing less of them in the new service they will now be providing to the Township in the collection of our past due sewer and refuse payments."

**Bruce A. Rangnow, Former Director of Fiscal Affairs
Cheltenham Township**

"In June 2016, the Authority Board approved the execution of an agreement with Portnoff Law Associates, Ltd. for the collection of outstanding levee fees. Portnoff Law Associates immediately got to work on behalf of the Authority in notifying all known property owners who had delinquent levee fee accounts. In a short period of time, Portnoff has collected nearly a fifth of the outstanding levee fees and deposited the funds into an Authority account. We feel that this is an incredible effort and helps support our public safety mission. We are extremely pleased with the efforts of Portnoff Law Associates on behalf of our delinquency collections. As the Executive Director of the Authority, I would not hesitate in recommending the services of Portnoff Law Associates to any other authority in the Commonwealth for their municipal collection needs. Thank you!"

**Christopher J. Belleman, Executive Director
Luzerne County Flood Protection Authority**

"I am a fan of Portnoff. We simply could not collect on these seriously delinquent accounts if not for the legal firepower and persistence Portnoff brings."

**Charlotte Gehman, Administrator
Municipal Authority of the Borough of Elverson**

"Portnoff has done wonders for our collection process! Our township processes trash billings annually. At the end of the year, all outstanding accounts are sent to Portnoff. Instead of us sporadically throughout the year trying to chase down people for old monies due, we now just turn our list over to Portnoff and I know I can pretty much check it off of my to do list because they are always on top of things. They are easy to work with and timely. Their attorneys are quick, prompt and knowledgeable. Their collection letters are easy to follow and are clear. They treat our collections like it was their own money they were trying to collect. And this makes all the difference."

**Pani Martin, Former Township Treasurer
East Fallowfield Township**

"I give these folks my highest recommendation. They've helped two municipalities in which I've worked to address these difficult situations. You are in good hands."

**Tommy Ryan, Township Manager
Worcester Township**

"I do collections for a water and wastewater company. We have been with Portnoff since 2012. Everyone at Portnoff that I have been in contact with has treated our company with the utmost professional service, answering all questions that were asked, advising our office of the different options we can pursue and letting us decide what option we feel is best for each account. We plan on working with Portnoff for a long time."

**Tina Williams, Former Collections Supervisor
Schuylkill County Municipal Authority
(Currently at St. Clair Sewer Authority)**

"On behalf of Whitehall Township, we thank your company for the reliable, excellent services you provide to our municipality. I am sincerely happy that the large percentage of our unpaids are satisfied without additional enforcement measures. We look forward to working with you in the coming year."

**Jack D. Meyers, Deputy Mayor
Whitehall Township**

"I am writing this letter to acknowledge the excellent work your firm has provided on behalf of Ringgold School District. You and your team continue to impart outstanding service to both the School District and to our community. Portnoff Law Associates has done an exceptional job collecting our delinquent real estate taxes while still remaining sensitive to the financial challenges facing our local community. With respect to your collection methods, we have found that our taxpayers are treated fairly and respectfully by your attentive and knowledgeable staff. Problems are addressed and resolved immediately. In addition, we are pleased with the revenues that your firm continues to generate for the School District. The stable growth and predictable cash flow have provided the School District with a sense of stability as we continue to work through these challenging economic times, particularly in light of the unprecedented constraints all School Districts face under the new state budget. It has been a pleasure conducting business with you and your staff. Without hesitation, we would strongly recommend your services to other School Districts and Municipalities throughout the Commonwealth."

**Randall Skrinjorich, Superintendent
Ringgold School District**

NOTES OF APPRECIATION

"I would like to start by complimenting Portnoff on your customer service team. Venus and the other folks that I have interacted with are very knowledgeable and highly competent at their jobs. Kudos to the team on being nice and empathetic to us folks that have fallen behind or neglected their payments. Nice job!!!"

A property owner from Willow Grove, PA

"Thank you to everyone at Portnoff for always working with us. It's upsetting when you have things happen in life that are out of your control that you end up having to struggle to get done what needs to be. Your staff has always been understanding and it has been truly appreciated throughout the years. I hope you all have Happy Holidays."

A property owner from Easton, PA

"I so appreciate your patience and understanding of our sad circumstances. You made a difference!!!"

A property owner from Bethlehem, PA

"I know you probably have ... people yell on innocent customer reps on calls. I would like to express my appreciation of excellent customer service from Venus. It took time for her to look up the payment due on each property and I was impressed with her kindness."

A property owner from North Wales, PA

"I called your office today to access my information and make a payment on a late tax bill. Dachi was the person who handled my call, and I wanted you to know how much I appreciated the kind and professional way she talked to me and answered my questions. I am in customer service myself and know how important it is to make the client/customer feel respected, and I just wanted to pass along my opinion that Dachi is excellent at her job."

A property owner from Washington, PA

"Thank you. You have a pretty decent web site. It was fairly painless to pay my bill."

A property owner from Drexel Hill, PA

"Thank you, thank you, thank you! Thank you for not treating me like some low life who refused to pay their taxes. Thank you for getting me the necessary information so I can pay them online. Thank you so much for taking the time to answer my email. Hoping to complete this on payday coming up... Have a wonderful day!"

A property owner from Pine Grove, PA

"Thank you very much for this information and for being so kind as to work with me on resolving my issues in the past."

A property owner from Coaldale, PA

"Today I had the double pleasure of confirming that [my delinquent] Real Estate Taxes were paid in full and speaking with Venus, your representative who answered my call. Venus was pleasant, competent and so very helpful. I particularly appreciated how she anticipated questions about the lien on the house and a paid-in-full statement. It's embarrassing to get behind on one's taxes. Venus treated me [with] dignity and the situation sensitively. ... Because Venus was so pleasant, I wouldn't hesitate to call if I needed more information than your website provides. I congratulate you on having a great representative like Venus."

A property owner from Allentown, PA

"I just had a very helpful conversation with a very nice representative... I can't thank you enough for helping me out and allowing me to continue making payments."

A property owner from Bethlehem, PA

"I just wanted to drop you a note to let you know that I paid the first installment today. I also wanted to thank you again for your help and assistance with working with my family. You are polite and very courteous."

A property owner from Lehigh, PA

"Again thank you for being there for us. Your professionalism was helpful to us. You weren't pushy, you listened to our problem... Thank you."

A property owner from Gouldsboro, PA

"Thank you so very much for all you do – I really appreciate your patience and understanding. Thank you."

A property owner from Collegeville, PA

"Thank you, Portnoff Associates for having a website that is so customer friendly. Thank you, also, for not reporting us to the credit bureaus."

A property owner from Coatesville, PA

"I'm on a tax payment plan thanks to you, which I appreciate! ... Thank you so much for working with me."

A property owner from Bethlehem, PA

"We have worked with Portnoff over the past few years. My husband was diagnosed with cancer and went on to have a stem cell transplant. He's doing very well now, but due to his health, we had significant changes in our income and had fallen behind on many things. We always caught up. It just took us longer than we hoped it would. ... I'm only sharing this because I want you to know that every single Portnoff associate that we have spoken with during these difficult years has ALWAYS treated us with kindness & respect. From the bottom of my heart, I thank you."

A property owner from Washington Township, PA

REAL ESTATE TAX SALE LAW vs. MUNICIPAL CLAIMS AND TAX LIENS ACT

	Real Estate Tax Sale Law (utilized by county tax claim bureaus)	Municipal Claims and Tax Liens Act (utilized by Portnoff Law Associates)
Timeline of Collection Process	<p><u>Year 1</u> July 1: Taxes are assessed December 31: Taxes become delinquent</p> <p><u>Year 2</u> April 30 or earlier (depending on county): Returns must be made to the Tax Claim Bureau July 31: Notices of claims must be sent</p> <p><u>Year 3</u> January 1: Claim becomes absolute September: Upset sale scheduled December: Continued upset sale scheduled</p> <p><u>Year 4</u> Judicial sale generally scheduled</p>	<p>No set collection timeline is mandated under the MCTLA. Active collection activity on the delinquent real estate taxes can be initiated in Year 2, including the filing of a lien, filing and serving of a writ of scire facias, and scheduling the sale of the property.</p> <p>Prior to the assessment of any attorney fees, a notice must be mailed to the property owner by certified mail, informing them of the balance due. If the notice is undelivered, a follow-up must be mailed by first-class mail at least ten days prior to the assessment of any attorney's fees (53 P.S. § 7106(a.3)).</p>
Control by the Taxing District	Virtually none – once a return is made to the Tax Claim Bureau, the taxing district has no control over the collection process. A taxing district may agree to postpone a sale or accept less than the total amount of the tax due (72 P.S. § 5860.501(a)(2)).	Complete control over the entire collection process is retained by the taxing district.
Time Payments Made	Distributions to the taxing district must be made at least every three months (72 P.S. § 5860.205(c.1)).	PLA makes weekly distributions to the taxing district.
Interest	9% from the date of return (72 P.S. § 5860.306(a)).	Up to 10% after filing the lien (53 P.S. § 7143).

	<p align="center">Real Estate Tax Sale Law (utilized by county tax claim bureaus)</p>	<p align="center">Municipal Claims and Tax Liens Act (utilized by Portnoff Law Associates)</p>
<p align="center">Payment Plans</p>	<p>Generally, claims not paid by July 1 of year three will be advertised for upset sale (72 P.S. § 5860.501(a)).</p> <p>A county may enact legislation allowing up to twelve additional months to pay the tax claims (72 P.S. § 5860.502a).</p> <p>Once a property has been advertised for sale, a tax claim bureau may remove a property from the sale list upon payment of 25% of the amount due and an agreement to pay the remaining balance in no more than three installments within the next year (72 P.S. § 5860.603).</p> <p>If a property owner defaults on such an agreement, the property may be listed for sale at the next scheduled upset sale, and the property owner will not be eligible for another installment agreement for three years (72 P.S. § 5860.603).</p> <p>A taxing district may be able to enter into other payment arrangements not directly provided for by the statute with a property owner, but only through its direct involvement in setting up the payment arrangements.</p>	<p>The taxing district has full discretion to establish and set the length and terms of payment plans.</p> <p>The taxing district’s delinquent collector can handle all aspects of the payment plan process on behalf of the taxing district.</p>
<p align="center">Property Sales</p>	<p>(1) Upset Sale – minimum bid includes all taxes and municipal claims due.</p> <p>(2) Private Sale – property sold free of tax claims; sold subject to mortgages and judgments.</p> <p>(3) Judicial Sale – property is sold free and clear of all claims to the highest bidder.</p> <p>(4) Repository Sale – Properties not sold at Judicial Sale are placed in repository. These properties may be sold at any time, free and clear of all claims for any amount approved by the taxing districts holding claims against the property.</p>	<p>(1) Upset Sale – property may be sold under the rules relating to mortgage foreclosures. Minimum bid includes all taxes and municipal claims due.</p> <p>(2) Free and Clear Sale – property may be sold at Sheriff’s sale, free and clear of all claims to the highest bidder.</p> <p>(3) At either sale, if there are no bidders, the taxing district may take title to the property subject to the liens not otherwise discharged by the sale.</p>

	<p align="center">Real Estate Tax Sale Law (utilized by county tax claim bureaus)</p>	<p align="center">Municipal Claims and Tax Liens Act (utilized by Portnoff Law Associates)</p>
<p align="center">Hardship Program</p>	<p>In the event of a severe financial hardship and extenuating circumstances, the Tax Claim Bureau has the option of: (1) extending the time to pay the taxes up to one year; and (2) continuing or staying a scheduled sale of owner-occupied residential property (72 P.S. § 5860.503a(a)). Extenuating circumstances include serious physical injury and unemployment (72 P.S. § 5860.503a(d)).</p> <p>The taxes may be paid in four or more installments (at least thirty days apart) (72 P.S. § 5860.503a(b)).</p> <p>In the event that an owner-occupied residential property is owned solely by individuals at least 65 years old with limited income, the Tax Claim Bureau may: (1) extend the period for payment by up to three months; (2) if the owner cannot afford to pay the taxes, defer payment for as long as the individual owns the property; or (3) if the owner does not desire to live in the property, but a tax sale would cause the owner to lose equity that has accrued in the property, the property will be listed for private sale for eleven months prior to being listed for upset sale (72 P.S. § 5860.504).</p> <p>A taxing district may be able to enter into other hardship arrangements not directly provided for by the statute with a property owner, but only through its direct involvement.</p>	<p>The taxing district has full discretion to establish a hardship program with extended payment terms for property owners experiencing financial or medical hardship.</p> <p>The taxing district’s delinquent collector can handle all aspects of the hardship evaluation process, and can review individual hardship requests with a taxing district to the extent desired by the taxing district.</p>
<p align="center">Redemption</p>	<p>No statutory right for delinquent taxpayers to redeem their property after a tax sale.</p>	<p>Delinquent taxpayers have the right to redeem their property within nine months from the date of the acknowledgment of the sheriff’s deed.</p>

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COLLECTING DELINQUENT REAL ESTATE TAXES

You Have Options

By Kevin H. Buraks, Esq., Portnoff Law Associates, Ltd.



There are many instances where Pennsylvania boroughs are faced with one-size-fits-all mandates that dictate how they operate. Fortunately, the collection of delinquent real estate taxes is not one of them.

Pennsylvania boroughs have the ability to choose not only who will collect their delinquent taxes, but also the laws under which collections will be made.

There are only so many entities that can collect a borough's delinquent real estate taxes, including the county tax claim bureau, a private third-party collector, or the borough itself. In determining which entity will most effectively collect, it is important to understand which statute each will collect the monies.

The most frequently used statutes to collect delinquent real estate taxes in PA are the Real Estate Tax Sale Law (RETSL) and the Municipal Claims and Tax Liens Act (MCTLA).

RETSL, used exclusively by county tax claim bureaus, has specific procedures for collecting delinquent taxes and selling properties through tax sales. These procedures under RETSL are rigid and protracted.

Initially, a boilerplate notice is sent to taxpayers explaining that the property will be sold unless the delinquent taxes are paid. This notice must be sent by July 31 of the year after the taxes first became due. No subsequent collection activity occurs until July of the following year.

Payment extensions are limited under RETSL and solely at the discretion of the county commissioners. The tax claim bureau is required to conduct one upset tax sale annually (typically during year two of the delinquency), with the ability to conduct a judicial sale in the event that properties do not sell (typically during year three of the delinquency). Under RETSL, the tax claim bureau is permitted to retain 5 percent of all taxes collected as a commission.

MCTLA has a different statutory framework that boroughs may use to collect delinquent real estate taxes.

One major benefit of collecting under MCTLA is that the borough retains full control over all aspects of the collection process. Unlike the long periods of inactivity under RETSL, the borough is permitted under MCTLA to make numerous contacts with the delinquent taxpayer during the first year of delinquency in order to incentivize payment.

The borough also can allow its residents to set up payment plans. This combination of multiple contacts with the ability to accept payment plans, often leads to the quick payment of delinquent accounts under MCTLA.

Private collectors hired under MCTLA will typically remit payments electronically, allowing for the immediate use of the money collected. Under RETSL, the tax claim bureau is only required to make quarterly payments to the borough.

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FEATURE ARTICLE

continued from page 35...

Many municipalities find that the biggest benefit of collecting under MCTLA is that the borough can charge all of its collection costs, including attorney's fees, to the delinquent taxpayer. This fee shifting not only creates strong incentive for taxpayers to pay off their delinquent accounts quickly, but it allows boroughs to hire a private collector at minimal cost to the borough.

By charging delinquent taxpayers the costs of collection, those residents who pay their bills on time will no longer be forced to shoulder the burden of the additional expenses created by taxpayers who choose not to pay.

In order to shift the collection charges to the delinquent taxpayer under MCTLA, the borough will need to adopt an ordinance that lays out the fees and costs that it intends to charge. Enacting this ordinance will put the public on notice that the borough is serious about collecting its delinquent accounts.

Shifting collection costs under MCTLA creates a strong incentive for taxpayers to pay both delinquent and current tax bills on time. Taxpayers who knowingly game the system will quickly learn that delaying payment is no longer a money-saving option.

The ability to fee shift under MCTLA frequently leads to higher current collection rates, as the lesson will be learned the



By charging delinquent taxpayers the costs of collection, those residents who pay their bills on time will no longer be forced to shoulder the burden of the additional expenses created by taxpayers who choose not to pay.

first time the taxpayer is required to pay additional fees to satisfy a delinquent bill.

Whether through a private collector or municipal solicitor, boroughs are likely to see an increase in revenue by utilizing the procedures of MCTLA.

With local control over the collection process and the shifting of costs to the delinquent taxpayer, the borough can create incentives to spark quick payment of delinquent accounts and lower delinquency rates going forward. This will draw the praise

of constituents who pay their tax bills in a timely manner and catch the attention of those who do not.

About the author: Kevin H. Buraks, Esq., is a managing attorney of Portnoff Law Associates, Ltd., a law firm that represents over 140 boroughs and municipal clients throughout Pennsylvania in the collection of delinquent real estate taxes and municipal fees, such as sewer, water, trash, stormwater, and abatement of nuisance. He can be reached at kburaks@portnoffonline.com. 



COLLECTING CONUNDRUM

Got Delinquent Accounts? Try These Ways to Make Them Pay

When everyone is pulling together, a team works well. On the other hand, when some don't pull their weight, others must pick up the slack. The same holds true for people paying their bills. If your township has delinquent accounts, try one of these approaches to urge property owners to pay up.

BY CHRIS BRADY / ASSISTANT EDITOR

Creating incentives can go a long way toward getting delinquent accounts off the books. Whether it's a water or sewer bill, fee for trash pickup, or some other overdue account, without taking some sort of action, the township enables delinquent property owners and makes them less likely to pay on past-due accounts.

The good news is that there are plenty of incentives to choose from.

Sometimes, a township toolbox contains an instrument that may have been overlooked or simply allowed to slip off the radar after not being used for some time. One such tool makes it easier for townships to deal with delinquent collections by putting all the financial burden on the property owner.

The Municipal Claims and Tax Liens Act (MCTLA) is more than 100 years old and has repeatedly helped townships and municipal authorities push property owners to pay their delinquent accounts. This act provided townships with the tools to successfully collect delinquent fees, such as water, sewer, trash, and stormwater fees, as well as delinquent real estate taxes, without using the county tax claim bureau. Other accounts collectible under the MCTLA include water and tapping fees; sidewalk, streetlight, and electricity fees; and abatement of nuisance charges.

How does it work?

Only obligations connected to real property are collectible through the MCTLA. The law allows the township to shift all reasonable costs of collection, including attorney's fees, to the delinquent property owner. Once the township uses the MCTLA, residents in arrears will learn that the perceived benefit of paying when they choose will be outweighed by the additional collection fees and costs incurred with delinquent payments.



Townships have numerous options to address delinquent accounts. From using existing law to providing payment plans, townships can make it known that action will be taken and thus provide property owners with incentives to pay on time.

To use the MCTLA, townships or municipal authorities must enact an ordinance that spells out the specific fees that can be added to delinquent accounts.

"The ordinance needs to be formally enacted to ensure that collection costs can be legally shifted to the property owner," says Kevin Buraks, an attorney with Portnoff Law Associates. "My firm provides an ordinance to our clients that complies with the Municipal Claims and Tax Liens Act. The township's solicitor also could handle this responsibility.

"There is a benefit to informing delinquent property owners of the fees that can be incurred during the collection process," he adds, "as seeing this

list of fees will provide strong incentive to pay."

Buraks says his firm provides delinquent property owners with a list of fees through a "notice of delinquency and fee shifting" and typically receives strong responses to such collection notices. The township can also advertise fees on its website or in a newsletter.

"Elected officials are sometimes concerned that adding additional costs to the underlying obligation will create political backlash," according to Portnoff Law Associates, "but by failing to collect money that is owed to the township, the vast majority of property owners who timely pay their obligations will suffer as a result of those who do not pay."

Using the MCTLA to collect past-

"There is a benefit to informing delinquent property owners of the fees that can be incurred during the collection process, as seeing this list of fees will provide strong incentive to pay."

DELINQUENT COLLECTIONS

due accounts creates a strong incentive for property owners to pay delinquent and future township bills promptly.

Other options for delinquent accounts

Townships can also provide positive incentives to encourage payment on delinquent accounts, such as flexible payment plans or a hardship program. Public utilities often have these kinds of programs to help customers meet their obligations.

For property owners who are struggling financially, an all-or-nothing option may be too much, resulting in nothing for the township. Making ad-

ditional options available that acknowledge their struggle and give property owners more time or smaller payments can give the account holders a positive view of their township and make them more willing to pay on time in the future.

Townships can also help by making multiple payment options available, including payment by cash or check and online payment via credit card or bank transfer.

When to act

Townships may wonder when they should employ one or more of these collection measures. Buraks says that it is time to use these methods when current collection efforts are not working. The township should decide how to incentivize payment, and whether it is adopting an ordinance related to MCTLA or providing payment options, the township should show it is serious about delinquent payments.

“My firm is often hired because prior collection efforts were ineffective,” says Buraks. “Our clients give property

owners a reasonable time to pay the debt before the account is turned over to my firm for collection. Most of our clients turn over accounts on an annual or biannual basis, so we do not tend to receive the accounts immediately upon becoming delinquent, granting some additional time to the delinquent property owner.”

Some townships issue press releases or use other methods to notify residents that a collections firm has been hired. This not only serves as a warning but also gives notice to all residents that the township is serious about collecting. The mere issuance of such a notice can prompt some property owners to pay up, according to Buraks.

When all else fails

When other collection efforts are unsuccessful, municipalities may pursue legal action. A lawsuit against the delinquent resident seeking to obtain a judgment for the outstanding balance can lead to legal remedies to enforce collection, such as wage garnishment, property liens, or asset seizure. ♦



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Borough of Rankin

Armstrong County

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Beaver County

Aliquippa School District
Big Beaver Falls Area School District
Ellwood City Area School District (split)
Rochester Area School District

Berks County

Boyertown Area School District (split)
Daniel Boone Area School District
Exeter Township
Exeter Township School District
Borough of Robesonia
Upper Perkiomen School District (split)
Upper Tulpehocken Township

Blair County

Altoona Area School District
Altoona Water Authority
Logan Township

Bucks County

Borough of Bristol
Bristol Township
Central Bucks School District
Council Rock School District
Lower Makefield Township
Borough of Morrisville
Morrisville School District
New Hope-Solebury School District
Palisades School District
Borough of Sellersville
Souderton Area School District (split)
Warminster Township
Warrington Township
Borough of Yardley

Carbon County

Borough of Lansford
Lehighton Area School District
Lower Towamensing Township
Mahoning Township Municipal Authority

Carbon County (Cont'd)

Borough of Nesquehoning
Panther Valley School District (split)
Borough of Summit Hill

Chester County

Township of Caln
Caln Township Municipal Authority
Chester Water Authority (split)
Coatesville Area School District
City of Coatesville
East Bradford Township
East Coventry Township
East Goshen Township
Easttown Township
Municipal Authority of Borough of Elverson
Great Valley School District
Kennett Township
Borough of Modena
Owen J. Roberts School District
Borough of Parkesburg
Phoenixville Area School District
Borough of Phoenixville
Tredyffrin/Easttown School District
Tredyffrin Township
Uwchlan Township
Valley Township
West Bradford Township
West Brandywine Township
West Brandywine Twp Municipal Authority
Borough of West Chester
West Whiteland Township
Westtown Township

Crawford County

Conneaut Lake Joint Municipal Authority

Cumberland County

Lower Allen Township
Lower Allen Township Stormwater Authority

Dauphin County

Capital Region Water
Derry Township Municipal Authority
East Hanover Township Municipal Authority
Borough of Highspire
Lower Paxton Township
Lower Paxton Township Authority

Dauphin County (Cont'd)

Lower Swatara Township Municipal Authority
Borough of Steelton
Steelton Borough Stormwater Authority
Steelton-Highspire School District
Swatara Township Stormwater Authority

Delaware County

Chester Stormwater Authority
Chester Water Authority (split)
Borough of Clifton Heights
Borough of Colwyn
Borough of East Lansdowne
Borough of Folcroft
Borough of Lansdowne
Marple Township
Borough of Millbourne
Borough of Morton
Township of Nether Providence
Newtown Township Municipal Authority
Radnor Township School District
Borough of Ridley Park
Ridley Township
Borough of Swarthmore
Upper Darby Township

Franklin County

Quincy Township

Indiana County

Apollo-Ridge School District (split)
Green Township Municipal Authority
Borough of Indiana

Lackawanna County

Abington Heights School District
Carbondale Area School District
Elmhurst Township Sewer Authority
Greenfield Township Sewer Authority
Jefferson Township Sewer Authority
Lackawanna River Basin Sewer Authority
North Pocono School District (split)
Riverside School District
Scott Township Sewer and Water Authority
City of Scranton
South Abington Township

Lancaster County

Lancaster Area Sewer Authority
Borough of Manheim
Penn Township
Solanco School District
West Earl Township
West Hempfield Township Municipal Authority

Lawrence County

Ellwood City Area School District (split)
City of New Castle
Shenango Area School District
Wilmington Area School District (split)

Lebanon County

South Londonderry Township Municipal Authority

Lehigh County

Allentown School District
Bethlehem Area School District (split)
City of Bethlehem (split)
Catasauqua Area School District (split)
Borough of Catasauqua
Borough of Coplay
Borough of Emmaus
Lower Macungie Township
Northern Lehigh School District (split)
Northwestern Lehigh School District
Parkland School District
Salisbury Township
Salisbury Township School District
South Whitehall Township
Southern Lehigh School District
Upper Macungie Township
Weisenberg Township
Whitehall-Coplay School District
Whitehall Township

Luzerne County

Luzerne County Flood Protection Authority

Mercer County

Commodore Perry School District
West Middlesex Area School District
Wilmington Area School District (split)

Montgomery County

Township of Abington
Boyertown Area School District (split)
Borough of Bridgeport
Cheltenham School District
Township of Cheltenham
Borough of Hatboro

Montgomery County (Cont'd)

Township of Lower Merion
Lower Moreland Township School District
Township of Lower Pottsgrove
Lower Pottsgrove Township Authority
New Hanover Township Authority
Municipality of Norristown
Norristown Stormwater Authority
Perkiomen Valley School District
Pottsgrove School District
Borough of Pottstown
Pottstown Borough Authority
Pottstown School District
Borough of Rockledge
Souderton Area School District (split)
Borough of Souderton
Upper Dublin School District
Upper Merion Township
Upper Moreland-Hatboro Joint Sewer Authority
Upper Moreland Township School District
Upper Perkiomen School District (split)
Township of Upper Pottsgrove
Township of Upper Providence
West Norriton Township
Whitemarsh Township
Worcester Township

Northampton County

Allen Township
Bangor Borough Authority
Borough of Bath
Bath Borough Stormwater Authority
Bethlehem Area School District (split)
City of Bethlehem (split)
Bethlehem Township
Bethlehem Township Municipal Authority
Catasauqua Area School District (split)
City of Easton
Forks Township
Borough of Freemansburg
Moore Township
Northampton Area School District
Borough of Northampton
Northern Lehigh School District (split)
Township of Palmer
Palmer Township Stormwater Authority
Saucon Valley School District
Borough of Tatamy
Wilson Area School District

Northumberland County

Point Township Sewer Authority

Schuylkill County

Blue Mountain School District
Borough of Coaldale
Girardville Area Municipal Authority
Borough of McAdoo
Borough of New Philadelphia
Northeastern Schuylkill Joint Municipal Authority
Panther Valley School District (split)
Pine Grove Area School District
Pottsville Area School District
Rush Township
Saint Clair Area School District
Schuylkill County Municipal Authority
Borough of Shenandoah
Borough of Shenandoah Municipal Authority
Shenandoah Valley School District
Tamaqua Area School District

Susquehanna County

Bridgewater Township Municipal Authority

Washington County

Borough of East Washington
Ringgold School District
Washington Business District Authority
City of Washington
Washington-East Washington Joint Authority
Washington School District

Wayne County

North Pocono School District (split)

Westmoreland County

City of Lower Burrell
City of Monessen

Wyoming County

Factoryville Borough and Clinton Township
Joint Municipal Authority
Mehoopany Township
Mehoopany Township Municipal Authority
Nicholson Borough Authority

York County

Springettsbury Township

***List of Representative Clients**



THE BOROUGH OF JENKINTOWN

To: Borough Council, Mayor Lerman
Cc: Chief T. Scott, Kenneth Riggins, Marcus Lambert
Fr: George Locke, Borough Manager
Re: Sewer Fund Rate Explanation

The [08] Sewer Fund is not funded by property tax-millage and is funded solely through sewer rental and associated fees paid by property owners. Jenkintown Borough has continued to monitor, analyze, and manage the borough sanitary sewer system, which is owned and operated by the borough.

Construction of the current Borough sewer system began one hundred years ago. The system consists of approximately ten miles of gravity sanitary sewer main, a shared trunk main w/ Abington Twp. and three metering stations at connection points to the Aqua/Cheltenham conveyance system. The Borough does not operate a sewer processing facility.

The Borough has applied sound management of the system by utilizing State grants that fund 85% of the cost of the sewer main lining projects within the Borough, engaging a Professional Sanitary Sewer Engineer, engaging a Professional Sewer Rate Consultant familiar with Montgomery County and implementation of Waterworth® a sewage management software. The Borough continues to coordinate efforts and just as importantly maintaining a good working relationship with the Professionals both appointed and elected officials in our adjacent Municipalities and pertinent State, Federal and Private agencies.

Borough responsibilities do not end at the Borough limits. The Borough is also responsible for a proportional cost share of the Aqua/Cheltenham conveyance system that carries our sewage to Philadelphia as well as our share of the long-term maintenance expenses and sewage treatment costs at the Northeast Philadelphia Water Treatment Plant. These shares are based on the borough contribution to the wastewater flows handled by our downstream system partners.

The Borough's plan of action for sewer system management began with the 2015 Sewer Rate Study. This assessment allowed the Borough to effectively and incrementally establish the sewer rate structure. Wastewater conveyance and processing costs have continued to be less costly to rate payers in the Borough, while funding a system stable enough to rehabilitate/maintain the quality of the Borough sewer main system as well as pay sewage treatment costs, These have included the Borough's portion of the Philadelphia treatment plant maintenance costs and the financial cost of the Borough's portion of the downstream conveyance, 'interceptor A' construction in Cheltenham.

Sanitary sewer systems and treatment costs have, like most sectors, faced volatile markets, and some Municipalities have experienced precarious situations with their sanitary sewer system of late. While Jenkintown Borough works to insulate our situation from the turmoil in other systems, in some instances we are undeniably affected because the Borough sewage is conveyed through a neighboring Municipality and then treated in Philadelphia. Both of these are known to face rising costs and serious future concerns.

The current Jenkintown Borough sewer rate for the average residential usage of 58,400 gallons per year is approximately \$245.74 and was last set in January 2024. Due to situations beyond the Borough's control, costs have risen in the areas of construction, sewage treatment fees, and treatment plant maintenance charges. Calculations show the current rate and pricing structure will not be sufficient to cover the increased costs. The borough continually monitors fund expenses to maintain sewer fund balances to an acceptable accounting level while preparing for impending construction costs through funding the sewer reserve fund.

Taking all known factors into consideration the best management approach to sustaining the [08] sewer fund is to make the incremental increase defined below, in January 2026.

The proposed Annual Sewer Rate fee beginning in 2026 for the average residential usage of 58,400 gallons per year would be approx. \$307.00. This would be an increase to the average residential usage of 58,400 gallons rate payers annual bill of \$61.26.



Comparatively the 2026 annual rates for the 28 neighboring Municipalities reviewed during these calculations are shown in the attached bar graph and the costs vary greatly beginning at \$299 (Upper Merion Twp.), \$314 (Abington Twp.), \$425 (Upper Dublin), \$1,377 (Cheltenham Twp., Norristown, East Norriton) and \$1,726 (Pa American Water Co.)

2026 and beyond - The 2026 rate increase will improve the sewer funds stability and will temporarily sustain the required engineering, maintenance and treatment costs. It is recommended in future years to maintain an inflationary 3% annual rate increase to further stabilize the fund.

The complete costs for the next proposed stage of the downstream construction from Aqua Pennsylvania/Cheltenham and Philadelphia have not been finalized, provided to the Borough or approved by the PaDEP at this time. For those reasons there are no downstream construction costs factored into the current proposed sewer rate increase.

Once the final costs of the proposed construction are known the sewer rate study will be re-evaluated and submitted to the Borough for long-term planning to allow the [08] Sewer Fund to remain appropriately funded for the long-term stability and sustainability of the fund. Although the details of the proposed construction have not been provided it will be a serious undertaking and result in extensive costs to the Borough that would require passing a long-term bond to finance. This has required the Borough to re-engage the feasibility study of an alternative method of treatment in place of the current conveyance through Cheltenham Twp. and treatment at the Philadelphia Water Department treatment plant.

Thank you for your attention to this important matter.
Respectfully submitted.

George Locke
CBO Borough Manager
Jenkintown Borough



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Support Agreement

Date	11.6.2025	Customer #	
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Representative	Christina Johnson
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Ship To	
Jenkintown Borough	
700 Summit Avenue	
Jenkintown Pa, 19046	
Contact:	George Locke
E-Mail	glocke@jenkintownboro.com
Phone Number:	215.884.1202

Bill To	
Jenkintown Borough	
700 Summit Avenue	
Jenkintown Pa, 19046	
Contact Name:	George Locke
Billing Email Address:	glocke@jenkintownboro.com

Installation and Service Agreement Options

Agreement Type:	Docuware
Contract Length (months):	Annual
Contract Start Date:	TBD

By executing this agreement, I acknowledge that I have read and understand this agreement and I certify that I am authorized to execute this agreement on behalf of customer.

CONTRACT INCLUDES:
 Service provided based on selections made in the quote form.
 Inclusions for those items defined in the Document Management
 Altek will invoice for actual images and hours

CONTRACT PRICING BREAKDOWN
 Scanning: \$21,534.00
 Docuware Additional Storage (30GB) : \$ 504.00/per year
 Docuware Cloud 4 - (4 Named Users + 20GB) : \$3,672.00/ per year

Type	Base Rate	Base Billed
Document Management	\$ 25,710	Scanning Project
Professional Services	\$ 600	One Time Fee

Authorized signature acknowledges terms / conditions and expiration dates. The terms and conditions on the face and reverse side of this agreement correctly set fourth the entire agreement between parties. ALTEK will invoice for actual images and hours.

ALTEK will deliver accurate reproductions of the original files if they are consistent and clearly legible.

Within thirty (30) days of delivery, ALTEK must be notified of any discrepancies. Upon final delivery, ALTEK will store the original paper for 60 days, at which time all documents will be securely destroyed or returned. The customer must notify us if files are to be stored longer (a fee may apply). ALTEK will store digital images for up to 30 days.

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Authorized Signature	Print Name	Title	Date	Signature

Altek Business Systems Support Agreement Terms and Conditions

1. Acceptance by Dealer of contract: References made to "Dealer" shall mean Altek Business Systems Inc. Invoices shall be due and payable by the customer for all maintenance purchased pursuant to this agreement (The "Goods and Services"), within the time period specified on the face of this document. If customer fails to make any payment when due, there will be a service charge of five percent (5%) of the total amount due, together with an interest rate of one and one-half percent (1 1/2%) of the total amount due or the maximum legal rate allowed by law, whichever is less. Customer shall pay a \$20.00 service charge on any and all returned checks.
2. Default. If Customer is in default of any term or condition, seller may cancel this agreement in whole or part at any time upon ten- (10) day's written notice. If seller cancels the agreement the agreement will be prorated based upon the unused portion of the term of the agreement. Any amount due to seller will be invoiced and is payable upon receipt. Any amounts due to the customer will be applied to any unpaid invoices prior to refund.
3. Availability. Customer agrees that the goods are subject to availability and seller reserves the right to substitute models of like specification if practicable. Seller may cancel any order or any part of an order without cause at any time and without penalty, and seller's sole obligation shall be to return any down payment paid by customer. If parts become unavailable for discontinued equipment, seller reserves the right to delete said equipment in accordance with the terms of this agreement.
4. Delivery and Installation. Seller shall use its standard packaging. Seller shall choose the method of delivery; seller reserves the right to deliver the goods in installments. Customer will pay an invoice when due, without regard to delivery or non-delivery of subsequent installments. Delay in delivery of any installments shall not relieve customer of its obligations to accept remaining installments. Equipment shall be installed in accordance with manufacturer's specification. At customer's sole cost and expense, customer shall insure that equipment is placed in an environment that conforms with the manufacturer's specifications and requirements and will bear all costs and expenses for any additional necessities required for installation such as telephone and electrical wiring, remodeling, and noise and power filters. Any electrical work external to the equipment (i.e. associated peripheral equipment, power, transmission and phone lines) and equipment line cord is not covered by this agreement.
5. Title, Identification and risk of loss. The goods shall be identified to the contract, and risk of loss shall pass to customer when the goods are placed in the hands of the carrier. For goods purchased outright, title will pass to customer upon payment in full. For goods purchased on an installment payment basis title will pass to customer on the installation date.
6. Security Interest. Seller expressly reserves a security interest in the goods until payment in full has been collected and customer agrees to notify seller prior to relocation of any goods for which seller has a security interest. Customer shall execute any other document, including a financing statement or other document similar to the UCC-1, necessary to protect seller's security interest in the goods. Customer authorizes seller to file at customer's expense any financing statement relating to the goods without customer's signature except where prohibited by law.
7. Warranties. Seller warrants and represents that the goods and services of all new equipment sold or leased by Dealer, which is not covered under a maintenance plan, will conform to the description and specification and be free from defects in material and workmanship for ninety- (90) days from the date of this purchase. Within this period Dealer will repair said equipment without charge for parts and labor. A \$150.00 per hour fee will apply to all service calls regardless of service needed outside of the maintenance agreement with an upfront one-(1) hour minimum.
8. Seller. Makes no warranties whatsoever express or implied with regard to the service, the software included with the product or its installation and maintenance, and expressly excludes all implied warranties of merchantability and fitness for a particular purpose.
9. Sellers. Liability is limited to the cost of purchased products by the customer from seller. Seller shall not be liable for any special damages, including but not limited to damages due to loss of data or information of any kind, loss of or damage to revenue, profits or goodwill, damages due to interruption of business, damage to customer's computers or networks, even if the seller has been advised of the possibility of such damages.
10. Seller. Makes no other express or implied warranties and all other warranties are specifically excluded, including any warranty as to merchantability or fitness for particular or special purposes. Seller shall under no circumstances be liable for any special, exemplary, punitive, incidental or consequential damages regardless of the cause.
11. Remedy Limitations. The goods shall not be returned to seller for credit without seller's written consent. No credit will be given after fourteen-(14) days from the date of the invoice. All returns for credit within fourteen-(14) days are subject to up to a 20% restocking fee. All costs of return shall be the responsibility of the customer. Customer's exclusive remedy for breach of warranty shall be replacement or repair of the item or non-conforming parts at the option of seller. Customer expressly waives its rights to special, consequential, exemplary, and incidental or punitive damages.
12. Warranty Service. To obtain warranty service, customer must (1) call seller's Customer Service at (215) 721-9355. Customer should package all goods to be returned in manner adequate for pickup or shipping, and should properly insure the goods when shipped. Seller shall not be responsible for damage to the goods in transit. The goods will be returned to and from customer by method and carrier chosen by seller. A \$150.00 per hour fee will apply to all service calls regardless of service needed outside of the maintenance agreement with an upfront one-(1) hour minimum.
13. Term. This Contract shall become effective on the effective date of the Contract and shall continue monthly until terminated. The contracted rate will be adjusted annually to Dealer's then-prevailing rates, to be reflected in an automatic increase as of the annual date, and Customer expressly consents to such adjustment without additional notice.
14. Termination. Customer may terminate the Services provided under this Contract after the first three (3) months of service as long as the customer is not then in default and provides Dealer at least thirty (30) days written notice.
15. Remedial Maintenance. During the term of this agreement Dealer agrees to perform the maintenance and repair that will keep the equipment in good working order and condition, normal wear and tear included. If Dealer is notified by a customer during the term of the agreement that the equipment is not in good working condition, Dealer will, during Dealer's established service hours make necessary adjustments and repairs including replacement of parts, or replace the equipment versus repair at Dealer's option. Dealer's service hours are 8:00am to 5:00pm Monday thru Friday Eastern Standard time, excluding holidays. Dealer may from time to time adjust these hours as may be required in the course of business, at which time the customer will be advised. Service at times other than Dealer established hours may be furnished on "as available basis" at published rates then in effect. Replacement parts may have been used and/or reconditioned. Parts that have been replaced will remain the property of Dealer.
16. Customer Responsibility. Customer will be responsible to allow remote and on-site access to all equipment covered by this support agreement during normal business hours. Any Altek owned equipment which is placed at customer site must be properly secured from theft or misuse.
17. Customer agrees that Dealer will not be held accountable to make adjustments, repairs or replacements if Dealer is not provided reasonable access to the equipment.
18. Assignment. This agreement shall not be assigned by customer without seller's express written consent. In the event that seller assigns any of its obligations under this agreement, seller shall remain primarily responsible to perform those obligations. Any claim or defense customer may have relating to those obligations must be asserted on or against seller and not its assignee.
19. Notices. All notices required to be given under this agreement shall be in writing and shall be sent by U.S. first class mail to the parties at the address listed on the front of this agreement.
20. Indemnification. Customer shall bear all risk of theft, loss or damage not caused by seller's employees or agents, to all goods installed under this agreement. Customer agrees to indemnify, defend and hold harmless seller, its officers, directors, employees and agents from all loss, liability, claims or expenses (including reasonable attorneys' fees) arising or customers use of the goods, including but not limited to liabilities arising from bodily injury, including death, or property damage to any person, unless caused solely as the result of a negligent or intentional act or omission by seller.
21. Seller shall indemnify customer against any costs, losses, damages or liability incurred by customer as the result of any third party's claim of infringement of its patent, copyright trademark which claim arises out of the use of the product by customer. Customer shall immediately notify seller in writing of such claim or demand. Seller shall have the sole right to control, and defense, thereof, and customer agrees that it will not settle any such claim against itself without the prior written consent of seller. Provided however, that seller shall not indemnify customer with respect to any claim relating to product(s) which is/are manufactured according to customer's instructions, or modified by customer or combined with other non-seller products, equipment, systems and/or processes, Failure of customer to provide timely notification of claim to seller shall relieve seller of its obligation to indemnify customer.
22. Force Majeure. Neither party shall be responsible for delays or failure in performance of this agreement (other than failure to make payment) to the extent that such party was hindered in its performance by act of God, abuse, misuse, excess of voltage or power surges, repairs other than those provided by Dealer authorized personnel, civil commotion, labor dispute, or any other occurrence beyond its reasonable control.
23. Applicable Law. This agreement shall be governed by the laws of the State of Pennsylvania and the Uniform Commercial Code as adopted therein without regard to choice of law principles. In the event of litigation or other proceedings by seller to enforce or defend any term or provision of this agreement customer agrees to pay all costs and expenses sustained by seller, including but not limited to, reasonable attorney's fees.
24. Seller's Agents. Customer acknowledges that it has been advised that no agent, employee, or representative of seller has any authority to bind seller to any affirmation promise, representation, or warranty concerning any goods and services, and unless such affirmation, promise, representation, or warranty is specifically set forth in this agreement it does not form a basis of this bargain and shall not be enforceable against seller.
25. Customer Documentation. Customer agrees that any purchase order or other documentation issued to seller covering the goods or services is issued for purposes authorization and customer's internal use only, and any conditions contained therein shall not modify or add to the terms and conditions of this agreement.
26. Acceptance. This agreement and its terms and conditions shall not take effect until accepted and executed by an authorized seller representative at seller's offices in the State of Pennsylvania.
27. Entire Agreement. This instrument, and any attachments hereto, is the entire agreement between customer and seller and supersedes any proposal or prior agreement, oral written, and any other communications relating to the subject matter of this agreement. The terms and conditions of this agreement shall supersede any terms and conditions which may be contained on any purchase order or other document which may be issued by customer. This agreement shall not be binding unless and until accepted and approved by authorized seller representative.

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