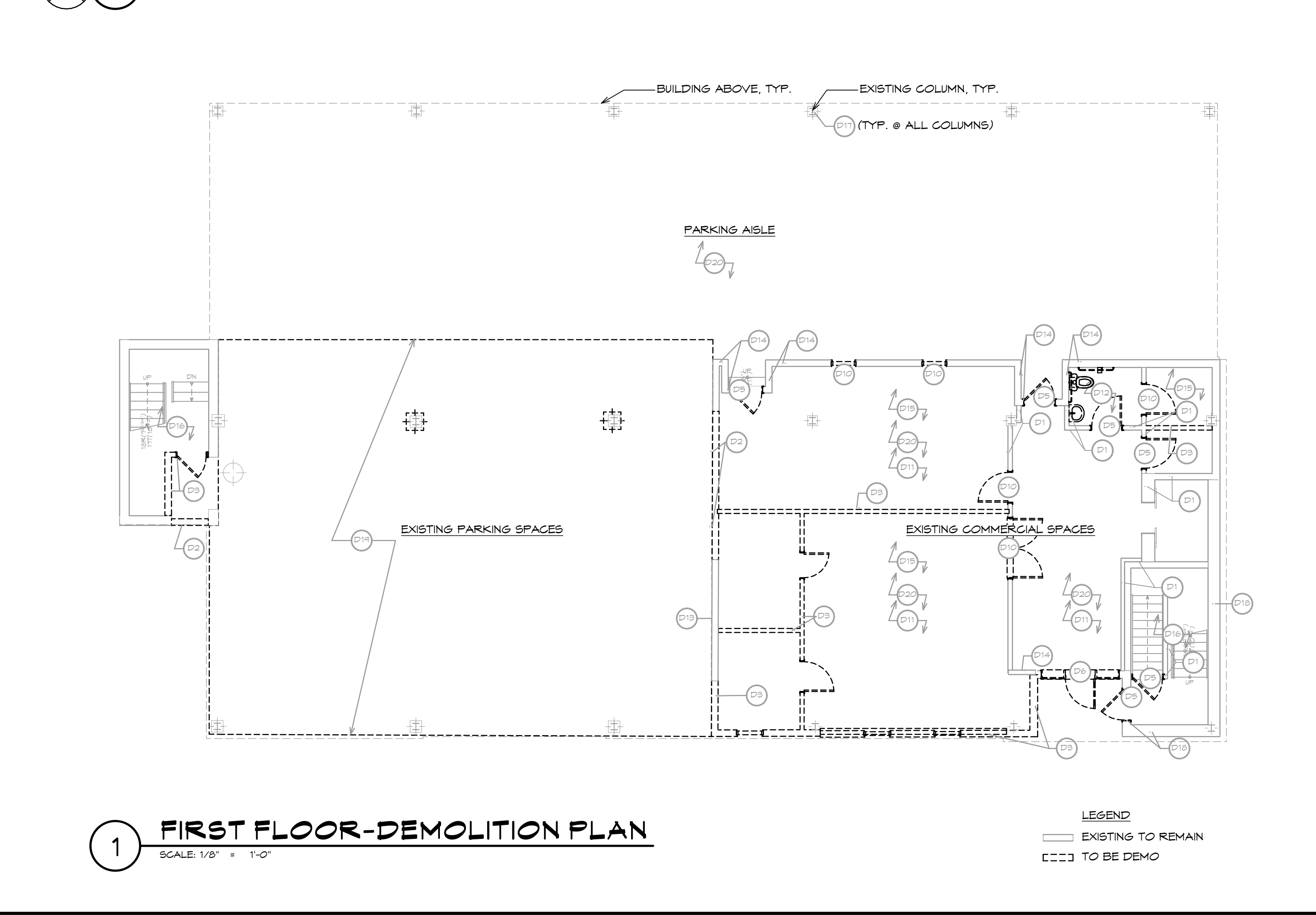
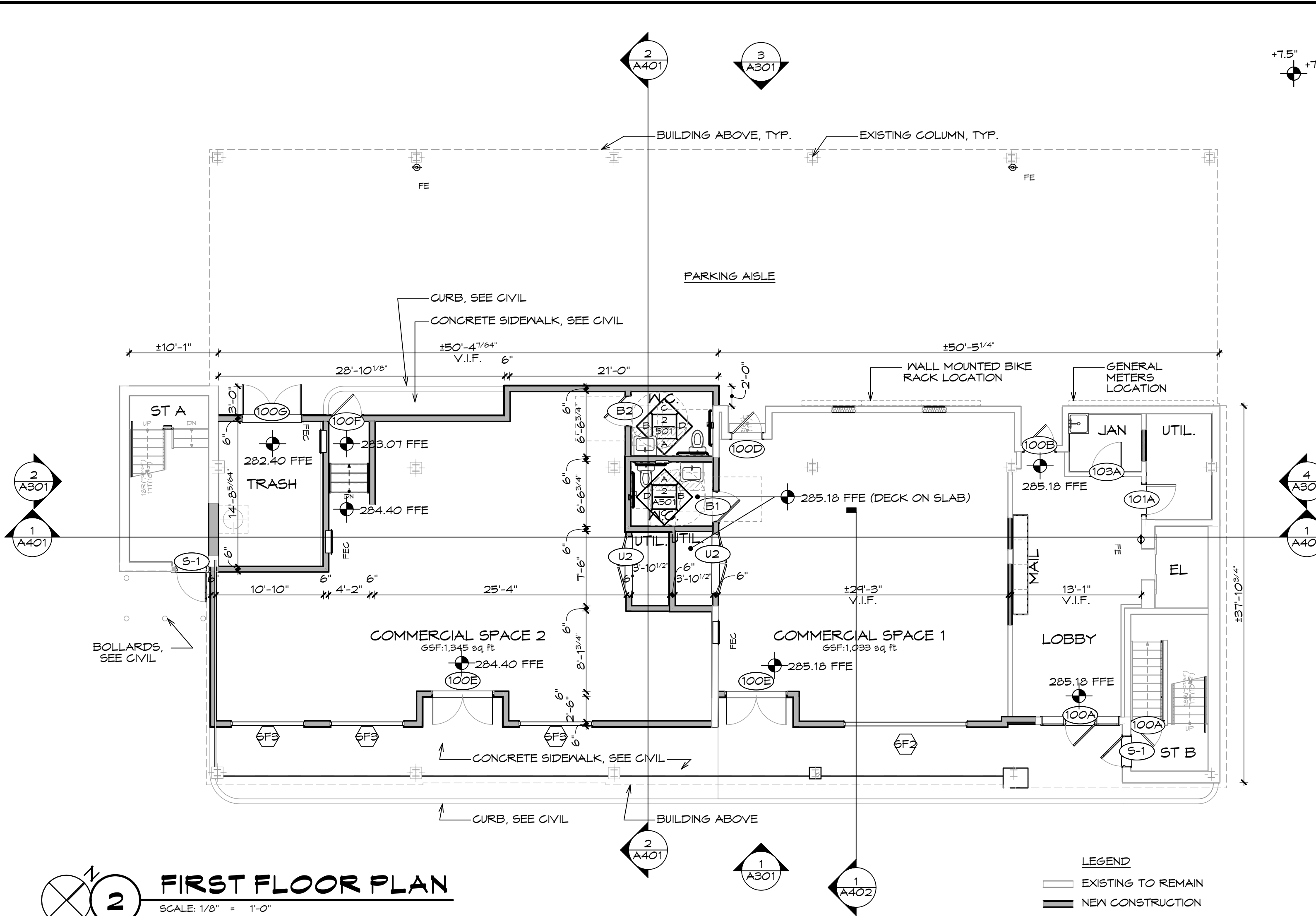


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/Volumes/Projects/2022/22021_TCG_501_Washington_Comp_Acvt4.pln,FIRST FLOOR PLAN,Monday, November 21, 2022,4:52 PM



DEMO KEYNOTES			
D1	PARTITION STUDS OR CMU TO REMAIN UNLESS DAMAGED. REMOVE GWB & TRIM. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS OR CMU. PREPARE FOR NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D14	WALL STUDS & SHEATHING TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, WALL INSULATION, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS.
D2	CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF DOOR SHOWN ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM.	D15	REMOVE ALL CABINETRY AND APPLIANCES & DISPOSE.
D3	REMOVE PARTITION WALL IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO GWB, DOORS & TRIM. SEE MPE DRAWINGS FOR ADDITIONAL DEMO SCOPE.	D16	STAIR CASE AND INTERIOR GUARDRAIL TO REMAIN U.N.O. PREPARE SURFACES TO RECEIVE FLOOR FINISH PER NEW CONSTRUCTION DRAWINGS. PROVIDE WALL MOUNTED HANDRAIL AND INTERIOR GUARDRAIL IF APPLICABLE PER NEW CONSTRUCTION DRAWINGS.
D4	REMOVE ENTIRE WALL SYSTEM FROM SLAB TO ROOF. PREPARE OPENING FOR NEW EXTERIOR WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D17	REMOVE EXISTING COLUMN ENCLOSURE & PROVIDE NEW COLUMN ENCLOSURE PER UL ASSEMBLY. PROVIDE FINISH PER NEW CONSTRUCTION DRAWINGS. REPAIR/ PROVIDE COLUMN CRASH PROTECTION AT EXTERIOR.
D5	REMOVE DOOR SYSTEM INCLUDING DOOR, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM PER THE NEW CONSTRUCTION DRAWINGS.	D18	WALL ASSEMBLY TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM WALL.
D6	REMOVE DOOR SYSTEM INCLUDING STOREFRONT DOOR, STOREFRONT SIDE LIGHT, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR.	D19	REMOVE EXISTING ASPHALT PAVEMENT & DISPOSE. CREATE PAD FOR NEW SLAB AND FOOTINGS. SEE CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
D7	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WINDOW.	D20	REMOVE ALL CEILINGS THROUGHOUT & DISPOSE.
D8	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF NEW WINDOW SYSTEM PER THE NEW CONSTRUCTION DRAWINGS. PREPARE OPENING TO RECEIVE NEW WINDOW.	D21	REMOVE ALL PLUMBING FIXTURES & ASSOCIATING PIPING. SEE MPE FOR ADDITIONAL DEMO SCOPE
D9	REMOVE ALL CONCRETE & CREATE USABLE PAD.	D22	REMOVE EXISTING ROOF MEMBRANE SYSTEM & ASSOCIATED FLASHING AND DISPOSE. PREPARE SURFACES TO RECEIVE NEW ROOF MEMBRANE SYSTEM AND FLASHING PER NEW CONSTRUCTION DRAWINGS. PROVIDE SLOPED ROOF PER NEW CONSTRUCTION DRAWINGS. SEE MPE FOR ADDITIONAL DEMO SCOPE.
D10	REMOVE DOOR OR WINDOW SYSTEM INCLUDING DOOR OR WINDOW, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D23	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF ROOF HATCH ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW ROOF HATCH SYSTEM.
D11	REMOVE ALL FLOORING THROUGHOUT THE FLOOR & DISPOSE. PROVIDE SLAB WITH SMOOTH FINISH.	D24	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF EXISTING ELEVATOR SYSTEM AS SPECIFIED.
D12	REMOVE ALL PLUMBING FIXTURES & REPLACE PER NEW CONSTRUCTION DRAWINGS.		
D13	WALL STUDS TO REMAIN UNLESS DAMAGED. REMOVE GWB, SHEATHING & EXTERIOR FINISH. REMOVE ALL NAILS&/OR FASTNERS FROM FROM STUDS.		

- BUILDING PLAN NOTES**
- REFER TO CIVIL DRAWINGS FOR FINAL GRADE, TOP OF SLAB ELEVATIONS, SIDEWALK LOCATIONS / DIMENSIONS AND ALL SITE AND UTILITY INFORMATION / COORDINATION. BRING ANY CONFLICTS BETWEEN CIVIL DOCUMENTS AND ARCHITECTURAL / MPE DOCUMENTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK IN QUESTION.
 - REFER TO BUILDING PLAN(S) FOR BUILDING LAYOUT / UNIT CONFIGURATION / PARTITION TYPES INCLUDING EXTERIOR WALLS AND UNIT DEMISING WALLS, DOOR & WINDOW TYPES / LOCATIONS. SEE ENLARGED PLANS FOR PARTITION TYPES NOT CALLED OUT.
 - REFER TO BUILDING PLANS FOR LOCATION OF RESILIENT CHANNELS IN UNIT DEMISING WALLS. RESILIENT CHANNELS ARE TO BE INSTALLED ON CORRIDOR SIDE OF UNIT U.N.O. SCREWS USED TO ATTACH GWB TO RESILIENT CHANNELS SHALL NOT CONTACT THE STUDS.
 - RESILIENT CHANNELS SHALL NOT BE INSTALLED DIRECTLY TO PLYWOOD IN SHEAR WALLS.
 - REFER TO ENLARGED 1/4" SCALE PLANS AND UNIT PLANS FOR DETAILED DIMENSIONS, DETAIL MARKERS, UNIT PARTITION TYPE TAGS, SOFFITS AND TEMPERED GLAZING LOCATIONS AS APPLICABLE.
 - NEW CONSTRUCTION PLAN DIMENSIONS ARE TAKEN TO FACE OF FRAMING MEMBERS OR FACE OF [CMU](CONCRETE), TYP. UNO. (EXCEPTIONS INCLUDE HAUNCH OR COLUMN LOCATIONS TAKEN TO CENTERLINE OF WALL AND INTERIOR ELEVATIONS TAKEN TO FINISHED FACE OF WALL OR TRIM AS NOTED).
 - DIMENSIONS NOTED AS 'CLEAR' ARE TO MAINTAIN THE MINIMUM NOTED FINISH DIMENSION FROM FINISHED FACE TO FINISHED FACE OF FURTHEST FINISHED MATERIAL / PROTRUSIONS INTO THE CLEAR FLOOR SPACE SUCH AS BASEBOARD / BASE SHOE / TRIM AND SIMILAR.
 - ALL INTERIOR NON-LOAD BEARING WALLS ARE 2X4 UNLESS NOTED OTHERWISE. ALL LOAD BEARING AND EXTERIOR WALLS ARE 2X6 UNLESS NOTED OTHERWISE. FLOOR AND ROOF FRAMING TO STACK WITH STUDS BELOW. REFER TO STRUCTURAL DRAWINGS AND WALL TYPES.
 - UNLESS NOTED OTHERWISE, DOORS IN CORNERS OF NON-LOAD BEARING PARTITIONS SHALL BE MINIMUM 4" FROM FACE OF JACK/JAMB STUD TO FACE OF ADJACENT WALL STUD TO ALLOW FOR CASING. CLOSET DOORS TO BE CENTERED WITHIN WIDTH OF CLOSET UNLESS NOTED OTHERWISE.
 - SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS, DETAILS AND LOCATIONS OF BEARING(SHEAR) WALLS AS APPLICABLE.
 - ALL STRUCTURAL MEMBERS SUPPORTING MORE THAN 2 FLOORS OR MORE THAN 1 FLOOR AND A ROOF SHALL BE FIRE PROTECTED AS SHOWN ON CODE SUMMARY.
 - REFER TO ROP FOR CEILING HEIGHTS AND SOFFIT LOCATIONS AS APPLICABLE. SEE UNIT PLANS FOR SOFFITS WITHIN UNITS.
 - REFER TO BUILDING ELEVATIONS FOR EXTERIOR FINISHES AND MATERIAL TRANSITIONS AS APPLICABLE.
 - SEE LIFE SAFETY AND BUILDING SECTION SHEETS FOR NOTES REGARDING FIRE SAFEGING, FIRE BLOCKING, DRAFTSTOPPING, DAMPER AND ANNULAR SPACE PROTECTIONS AS APPLICABLE. (DRAFTSTOPPING IS NOT REQUIRED DUE TO NFPA 13 SPRINKLERED SYSTEM).
 - SEE LIFE- SAFETY PLAN AND NOTES FOR FIRE EXTINGUISHER INFORMATION.
 - SEE 700 SERIES SHEETS FOR UNIT PLANS AND DETAILS.
 - SEE SCHEDULE SHEETS FOR DOOR, WINDOW, INTERIOR FINISH AND PARTITION TYPES / RATED ASSEMBLY SCHEDULES.
 - PROVIDE RATED GWB PER UL ASSEMBLIES WHERE REQUIRED BY CODE AND WHERE CALLED OUT. SEE PARTITION TYPES / RATED ASSEMBLIES, BUILDING SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION / ASSEMBLY CONSTRUCTION INFORMATION.
 - PROTECT GWB FROM MOISTURE AND CONTAMINANTS. ALL GWB, LINER PANELS, ETC THAT COULD BE EXPOSED TO THE ELEMENTS PRIOR TO BUILDING CLOSE-IN MUST BE MOLD RESISTANT PAPERLESS TYPE (FIBERGLASS OR SIMILAR).
 - PROVIDE MOISTURE RESISTANT GWB IN DAMP LOCATIONS.
 - PROVIDE IMPACT RESISTANT DRYWALL UP TO 4'-0" IN ACCESSIBLE UNITS AND UTILITY / MAINTENANCE AND TRASH ROOM AREAS, U.N.O.
 - WHERE 5/8" AND 1/2" GWB ARE USED ON THE SAME WALL PLANE, CARRY 5/8" THROUGH TO NEAREST BREAK IN PLANE TO AVOID SEAMING DISCREPANCIES.
 - CAULK PERIMETER OF GWB FLOORS, WALLS AND CEILINGS WITH RATED ACOUSTICAL SEALANT TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATED ASSEMBLY. SEAL ALL ELECTRIC, TV AND OTHER JUNCTION BOXES TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATINGS AND WHEREVER WALLS HAVE A MINIMUM STORATING REQUIREMENT.
 - COMPLETE GWB INSTALLATION AND AIR SEALING ON ALL FIRE RATED ASSEMBLIES PRIOR TO FRAMING SOFFITS BELOW.
 - AIR SEAL ALL SOFFITS WHERE ADJACENT TO EXTERIOR WALLS, AIR SEAL CHASE WALLS, DUCTWORK, PLUMBING PIPE PENETRATIONS, VENT STACKS ETC. AIR SEAL ALL ELECTRIC AND CABLE WIRES, CONDUITS, TV AND OTHER JUNCTION BOXES IN EXTERIOR WALLS OR OTHER BUILDING CAVITY TO MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AIR SEALING. SEE AIR SEALING DETAILS.
 - ALL THRESHOLDS AND FLOOR FINISH MATERIAL TRANSITIONS SHALL BE ADA COMPLIANT. LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2. NO LEVEL CHANGE SHALL EXCEED 1/4".
 - SLOPE ALL FINISH FLOORS TO FLOOR DRAINS AS APPLICABLE. FLASH PATCH AS REQUIRED TO PROVIDE ADEQUATE SLOPE.
 - PROVIDE HANDRAIL ON BOTH SIDE OF CORRIDOR. SEE PLAN FOR LOCATIONS. RETURN HANDRAIL TO WALL AT ENDS UNLESS NOTED OTHERWISE. PROVIDE BLOCKING IN WALL BEHIND ALL HANDRAIL CONNECTION POINTS.
 - NOT USED
 - FOR GENERAL SIGNAGE REQUIREMENTS REFER TO SIGNAGE SHEETS. SEE ALSO LIFE SAFETY NOTES, FINISH NOTES, ELEVATOR NOTES AND STAIR NOTES. ALL SIGNAGE TO BE COORDINATED WITH OWNER'S INTERIOR DESIGNER. INSTALL SIGNAGE IN ACCORDANCE WITH ALL REGULATING CODES AND STANDARDS, INCLUDING ICC/A117.1-2009.
 - PROVIDE BINS LABELED SPECIFICALLY FOR RECYCLING IN THE MANAGEMENT OFFICE, MAIL ROOM, COMMUNITY ROOM, ALL TRASH ROOMS AND ALL UNITS.
 - PROVIDE HOOK-UPS AND APPLIANCES FOR DWELLING UNIT LAUNDRY ROOMS / CLOSETS. SEE SPECIFICATIONS FOR MODEL NUMBERS. LAUNDRY EQUIPMENT SHALL BE ENERGY STAR COMPLIANT AND ADA COMPLIANT AS SPECIFIED.
 - PROVIDE HOOK-UPS FOR LAUNDRY EQUIPMENT (FRONT LOAD WASHERS AND FRONT LOAD DRYERS) IN EACH LAUNDRY ROOM; LAUNDRY EQUIPMENT TO BE ENERGY STAR COMPLIANT, ADA COMPLIANT AND SUPPLIED BY VENDOR. COORDINATE WITH VENDOR PRIOR TO INSTALLATION.
 - NOT USED
 - NOT USED
 - NOT USED
 - PROVIDE PLYWOOD BACKING PANELS FOR CATV, TELEPHONE, INTERNET, ELECTRICAL AND SIMILAR EQUIPMENT. COORDINATE WITH ELECTRICAL DRAWINGS.

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Date: 11-21-2022

Job #: 22021

Drawn: JDP

Mngr: CP/AG

Rev. No.	Name	Date
22021_Comp		

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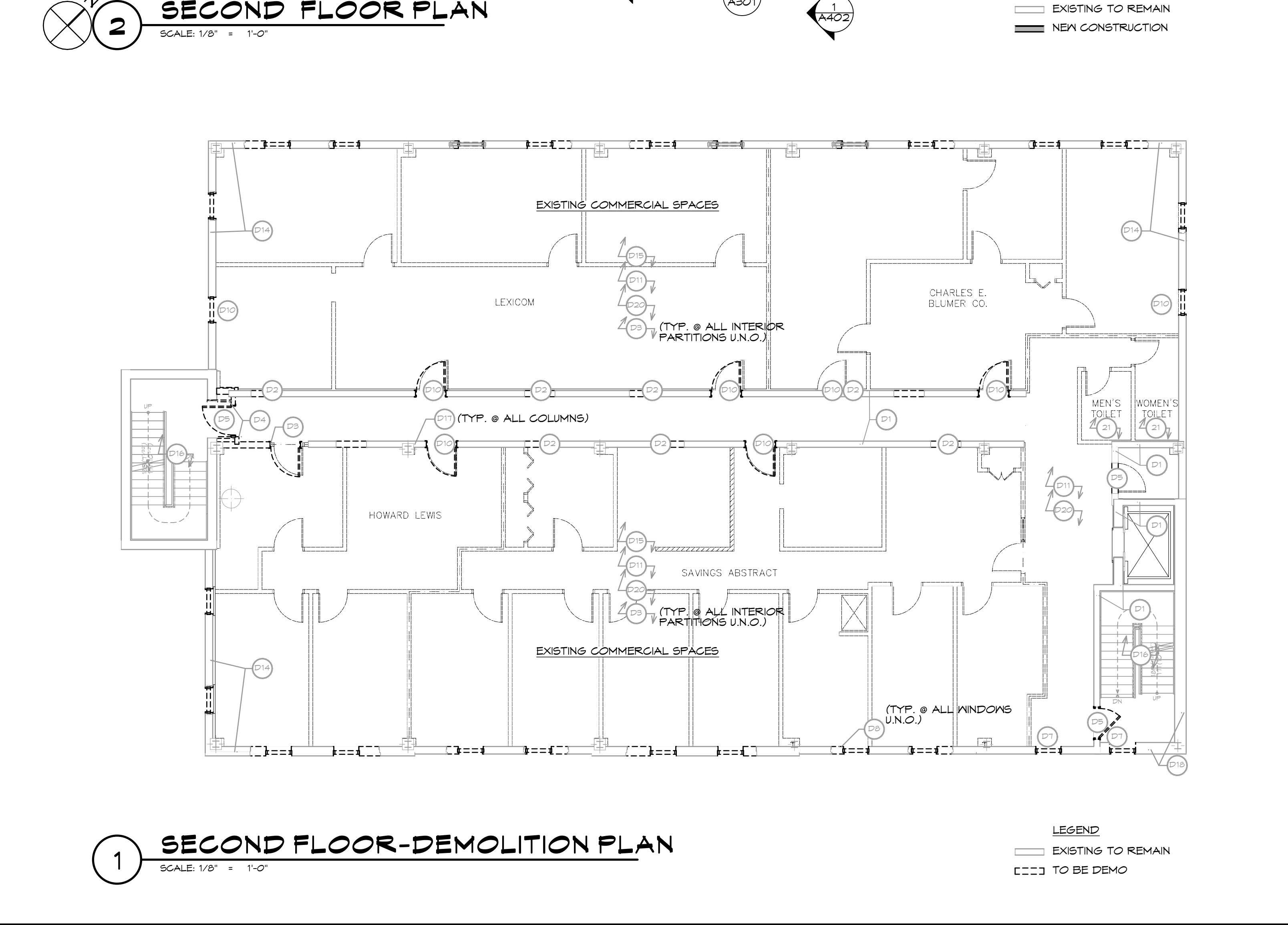
WORK IN PROGRESS-2022-11-21

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501 Washington Lane Jenkintown,
Pennsylvania

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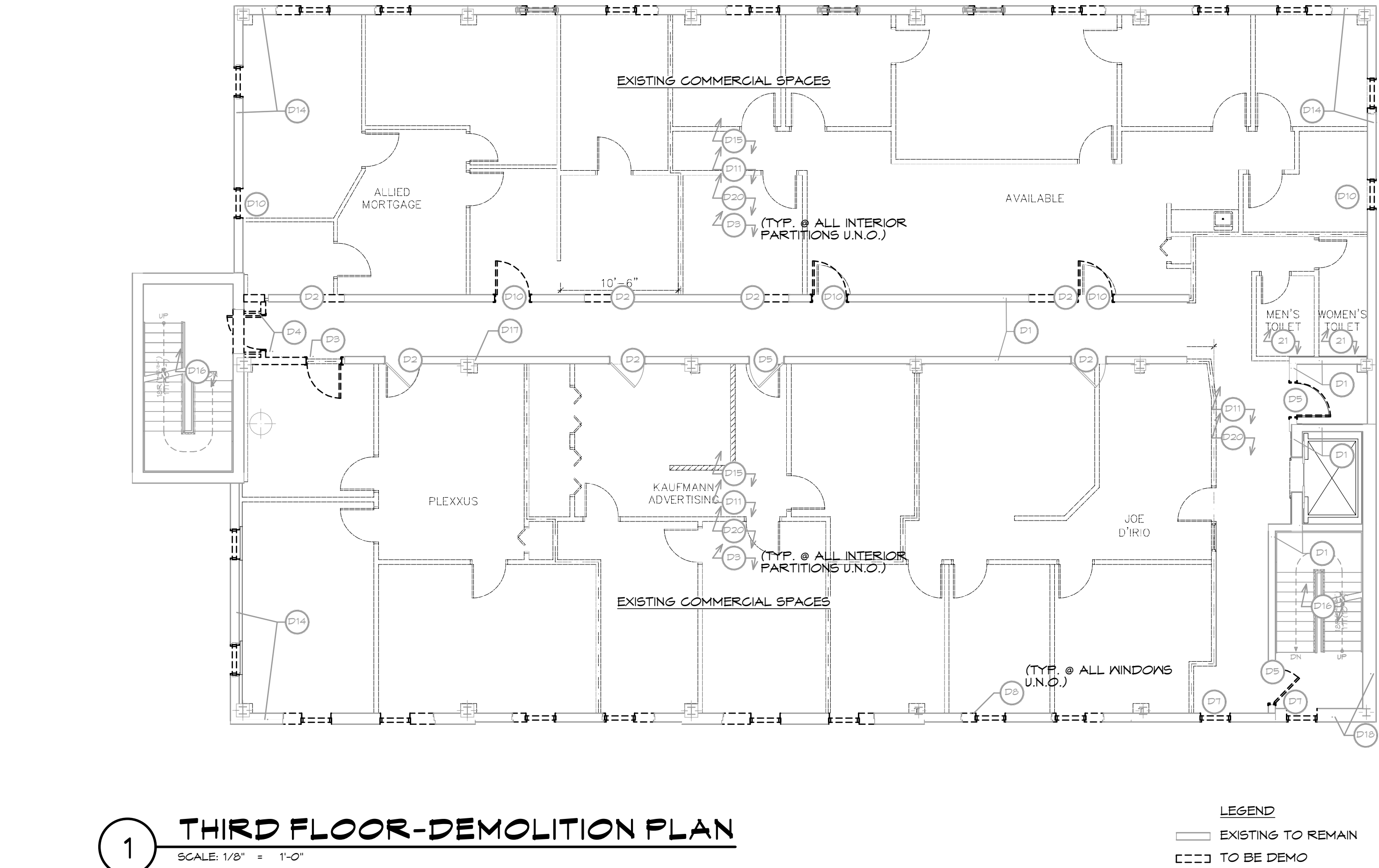
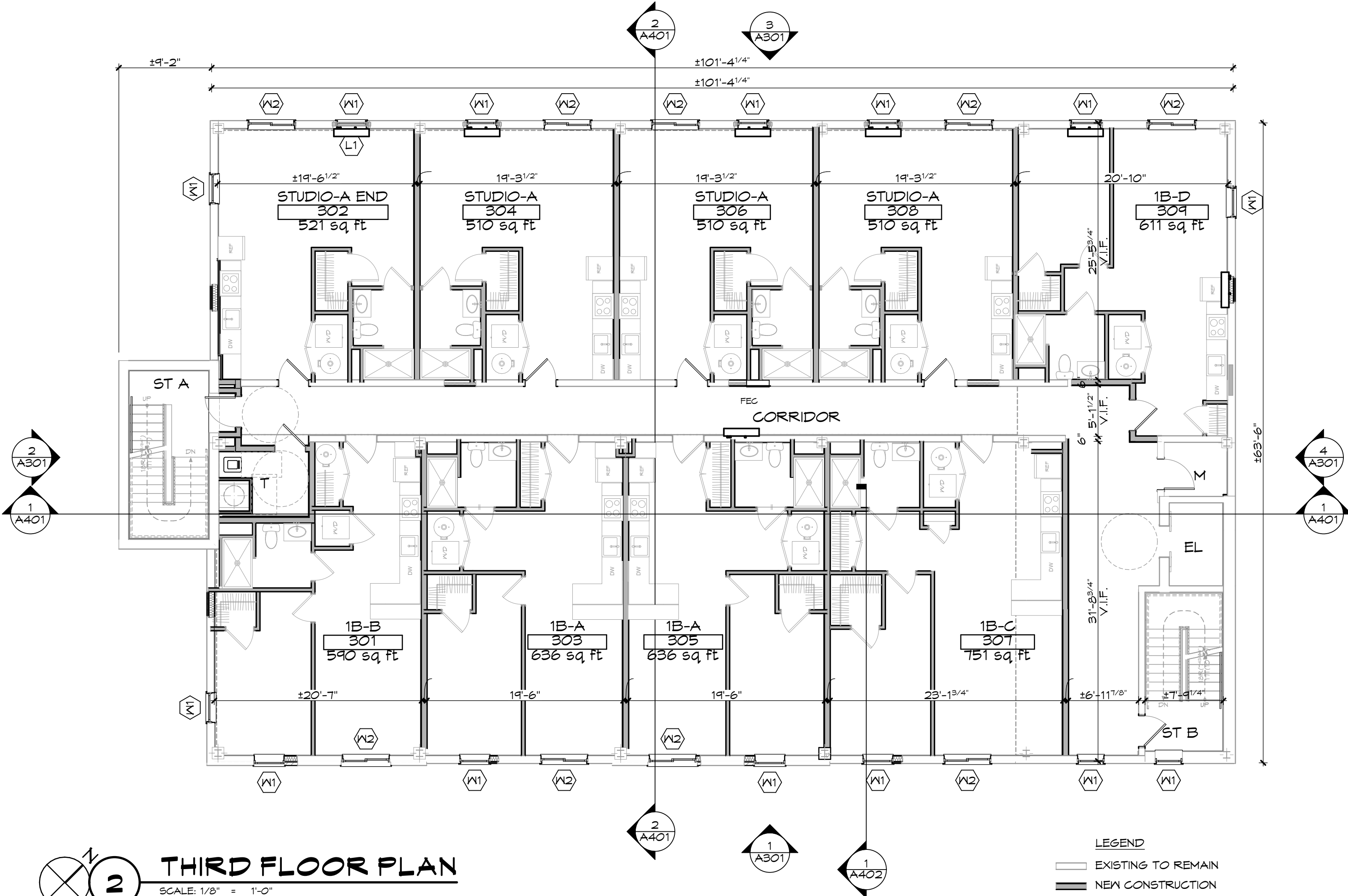
FIRST FLOOR PLAN



1. REFER TO CIVIL DRAWINGS FOR FINAL GRADE, TOP OF SLAB ELEVATIONS, SIDEWALK LOCATIONS / DIMENSIONS AND ALL SITE AND UTILITY INFORMATION / COORDINATION. BRING ANY CONFLICTS BETWEEN THE ABOVE AND ANY OTHER CIVIL OR ARCHITECTURAL / MPEF DOCUMENTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK IN QUESTION.
2. REFER TO BUILDING PLAN(S) FOR BUILDING LAYOUT / UNIT CONFIGURATION, MAIN PARTITION TYPES INCLUDING EXTERIOR WALLS AND UNIT DEMISING WALLS, DOOR & WINDOW TYPES / LOCATIONS. SEE ENLARGED PLANS FOR PARTITION TYPES.
3. REFER TO BUILDING PLANS FOR LOCATION OF RESILIENT CHANNELS IN UNIT DEMISING WALLS. RESILIENT CHANNELS SHALL BE INSTALLED TO ATTACH TO ADJACENT WALLS.
4. SCREWS USED TO ATTACH GWB TO RESILIENT CHANNELS SHALL NOT CONTACT THE STUDS.
5. RESILIENT CHANNELS SHALL NOT BE INSTALLED DIRECTLY TO PLYWOOD IN PARTITION WALLS.
6. REFER TO ENLARGED 1/4" SCALE PLANS AND UNIT PLANS FOR DETAILED DIMENSIONS, DETAIL MARKERS, UNIT PARTITION TYPE TAGS, SOFFITS AND TEMPERED GLAZING LOCATIONS AVAILABLE.
7. NEW CONSTRUCTION PLAN DIMENSIONS ARE TAKEN TO FACE OF FRAMING MEMBERS OR FACE OF [CMU/CBLOCK/CONCRETE], TYP. UNLESS OTHERWISE NOTED OTHERWISE. HAUNCH OR COLUMN LOCATIONS TAKEN TO FINISHED FACE OF WALL OR TRIM AS NOTED OTHERWISE.
8. DIMENSIONS NOTED AS 'CLEAR' ARE TO MAINTAIN THE MINIMUM NOTED FINISHED DIMENSION FROM FINISHED FACE TO FINISHED FACE OF FURTHER FINISHED MATERIAL / PROTRUSIONS INTO THE CLEAR FLOOR SPACE SUCH AS PLASTERING / BOARD SUBTLY AND STAIRS.
9. ALL INTERIOR NON-LOAD BEARING WALLS ARE 2X4 UNLESS NOTED OTHERWISE. ALL LOAD BEARING AND EXTERIOR WALLS ARE 2X8 UNLESS NOTED OTHERWISE. FLOOR AND ROOF FRAMING TO BE 2X12 UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS AND WALL TYPES.
10. UNLESS NOTED OTHERWISE, DOORS IN CORNERS OF NON-LOAD BEARING PARTITIONS SHALL BE MINIMUM 4" FROM FACE OF FRAMING TO CORNER. DOORS IN CORNERS OF LOAD BEARING PARTITIONS SHALL BE MINIMUM 4" FROM FACE OF FRAMING TO CORNER. CLOSET DOORS TO BE CENTERED WITHIN WIDTH OF CLOSET UNLESS NOTED OTHERWISE.
11. SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS, DETAILS AND MATERIALS FOR FRAMING AND PARTITION ASSEMBLY.
12. ALL STRUCTURAL MEMBERS SUPPORTING MORE THAN 2 FLOORS OR MORE THAN 1 FLOOR AND A ROOF SHALL BE FIRE RATED TO MEET THE MINIMUM RATING AND STRENGTH.
13. REFER TO RCP FOR CEILING HEIGHTS AND SOFFIT LOCATIONS AS APPLICABLE. SEE UNIT PLANS FOR SOFFITS WITHIN UNITS.
14. REFER TO BUILDING ELEVATIONS FOR EXTERIOR FINISHES AND MATERIALS TO BE USED FOR EXTERIOR FINISHES.
15. SEE LIFE SAFETY AND BUILDING SECTION SHEETS FOR NOTES REGARDING FIRE SAFEGE, FIRE BLOCKING, DRAFTSTOPPING, DAMPER AND ANNUAL SPACE PROTECTIONS AS APPLICABLE. FIRE RATED GLASS IS NOT REQUIRED DUE TO NFPA 13 SPRINKLER SYSTEM.)
16. SEE LIFE-SAFETY PLAN AND NOTES FOR FIRE EXTINGUISHER INFORMATION.
17. SEE 700 SERIES SHEETS FOR UNIT-PLANS AND DETAILS.
18. SEE SCHEDULE SHEETS FOR DOOR, WINDOW, INTERIOR FINISH AND PARTITION TYPES / RATED ASSEMBLY SCHEDULES.
19. PROVIDE RATED GWB PER UL ASSEMBLIES WHERE REQUIRED BY CODE AND WHERE CALLED OUT. SEE PARTITION TYPES / RATED ASSEMBLIES, BUILDING SECTIONS AND STRUCTURAL DRAWINGS FOR LOCATION OF PARTITION ASSEMBLY CONSTRUCTION INFORMATION.
20. PROTECT GWB FROM MOISTURE AND CONTAMINANTS. ALL GWB, LINER PANELS, ETC. THAT COULD BE EXPOSED TO THE ELEMENTS SHALL BE PROTECTED WITH AN APPROPRIATE MOLD RESISTANT, PAPERLESS TYPE FIBERGLASS OR SIMILAR).
21. PROVIDE MOISTURE RESISTANT GWB IN DAMP LOCATIONS.
22. PROVIDE IMPACT RESISTANT DRYWALL UP TO 4'-0" IN ACCESSIBLE AREAS OF KITCHEN UTILITY AND BATH AND TRASH ROOM AREAS, U.N.O.
23. WHERE 5/8" AND 1/2" GWB ARE USED ON THE SAME WALL PLACEMENT AND JOINTS TO BE NEAREST BREAK IN PLANE TO AVOID SEAMING DURING FINISHES.
24. CAULK PERIMETER OF GWB FLOORS, WALLS AND CEILINGS WITH RATED ACOUSTICAL SEALANT TO MAINTAIN INTEGRITY OF PARTITION AND RATED PARTITION ASSEMBLY. SEAL ALL ELECTRIC TV AND OTHER JUNCTION BOXES TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATINGS AND WHEREVER WALLS HAVE A MINIMUM STC RATING REQUIREMENT.
25. IMPEL GWB TO ADJACENT WALLS AND AIR SEALING ON ALL FIRE RATED ASSEMBLIES PRIOR TO FRAMING SOFFITS BELOW.
26. AIR SEAL ALL SOFFITS WHERE ADJACENT TO EXTERIOR WALLS. AIR SEAL CHASE WALLS, DUCTWORK, PLUMBING PIPE AND PROTRUSIONS. AIR SEAL ALL JUNCTIONS OF ELECTRICAL AND CABLE WIRES, CONDUITS, TV AND OTHER JUNCTION BOXES IN EXTERIOR WALLS OR OTHER BUILDING CAVITY TO MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AIR INfiltration. SEE AIR SEALING DETAIL.
27. ALL THRESHOLDS AND FLOOR FINISH MATERIAL TRANSITIONS SHALL BE ADA COMPLIANT. LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEveled TO A MAXIMUM OF NOT GREATER THAN 1:2. NO LEVEL CHANGE SHALL EXCEED 2".
28. SLOPE ALL FINISH FLOORS TO FLOOR DRAINS AS APPLICABLE. FLASH PATCH AS REQUIRED TO PROVIDE ADEQUATE SLOPE.
29. PROVIDE HANDRAILS TO ALL WALLS AND STAIRS. SEE PLAN FOR LOCATIONS. RETURN HANDRAIL TO WALL AT ENDS UNLESS NOTED OTHERWISE. PROVIDE BLOCKING IN WALL BEHIND ALL HANDRAIL CONNECTION POINTS.
30. NOT USED.
31. FOR GENERAL SIGNAGE REQUIREMENTS REFER TO SIGNAGE SHEETS. SEE ALSO LIFE SAFETY NOTES, FINISH NOTES, ELEVATOR NOTES AND STAIR NOTES. ALL SIGNAGE TO BE COORDINATED WITH DOWNWARD FACING ARROW SIGNAGE. INSTALL SIGNAGE IN ACCORDANCE WITH ALL REGULATING CODES AND STANDARDS, INCLUDING ICCA/117-1-2009.
32. PROVIDE BINS FOR RECYCLING AND FOR RECYCLING IN THE MANAGEMENT OFFICE, MAIL ROOM, COMMUNITY ROOM, ALL TRASH ROOMS AND ALL UNITS.
33. PROVIDE HOOK-UPS AND APPLANCES FOR DWELLING UNIT LAUNDRY FROM THE COMMUNITY LAUNDRY ROOM TO THE ENERGY STAR COMPLIANT AND ADA COMPLIANT AS SPECIFIED.
34. PROVIDE HOOK-UPS FOR LAUNDRY EQUIPMENT (FRONT LOAD WASHER AND DRYER) TO THE COMMUNITY LAUNDRY ROOM. LAUNDRY EQUIPMENT TO BE ENERGY STAR COMPLIANT, ADA COMPLIANT AND SUPPLIED BY VENDOR. COORDINATE WITH VENDOR PRIOR TO INSTALLATION.
35. NOT USED.
36. NOT USED.
37. NOT USED.
38. PROVIDE PLYWOOD BACKING PANELS FOR CATV, TELEPHONE / INTERNET, ELECTRICAL AND SIMILAR EQUIPMENT. COORDINATE WITH ELECTRICAL DRAWINGS.



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/Volumes/Projects/2022/2021_TCG_501_Washing/drawings/architect/2021_TCG_501_Washington_Comp_Acvt4.pln, THIRD FLOOR PLAN, Monday, November 21, 2022, 4:52 PM



BUILDING PLAN NOTES

1. REFER TO CIVIL DRAWINGS FOR FINAL GRADE, TOP OF SLAB ELEVATIONS, SIDEWALK LOCATIONS / DIMENSIONS AND ALL SITE AND UTILITY INFORMATION / COORDINATION. BRING ANY CONFLICTS BETWEEN CIVIL DOCUMENTS AND ARCHITECTURAL / MPEF DOCUMENTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK IN QUESTION.
2. REFER TO BUILDING PLAN(S) FOR BUILDING LAYOUT / UNIT CONFIGURATION, PARTITION TYPES INCLUDING EXTERIOR WALLS AND UNIT DEMISING WALLS, DOOR & WINDOW TYPES / LOCATIONS. SEE ENLARGED PLANS FOR PARTITION TYPES NOT CALLED OUT.
3. REFER TO BUILDING PLANS FOR LOCATION OF RESILIENT CHANNELS IN UNIT DEMISING WALLS. RESILIENT CHANNELS ARE TO BE INSTALLED ON CORRIDOR SIDE OF UNIT U.N.O. SCREWS USED TO ATTACH GWB TO RESILIENT CHANNELS SHALL NOT CONTACT THE STUDS.
4. RESILIENT CHANNELS SHALL NOT BE INSTALLED DIRECTLY TO PLYWOOD IN SHEAR WALLS.
5. REFER TO ENLARGED 1/4" SCALE PLANS AND UNIT PLANS FOR DETAILED DIMENSIONS, DETAIL MARKERS, UNIT PARTITION TYPE TAGS, SOFFITS AND TEMPERED GLAZING LOCATIONS AS APPLICABLE.
6. NEW CONSTRUCTION PLAN DIMENSIONS ARE TAKEN TO FACE OF FRAMING MEMBERS OR FACE OF [CMU](CONCRETE), TYP. UNO. (EXCEPTIONS INCLUDE HAUNCH OR COLUMN LOCATIONS TAKEN TO CENTERLINE OF WALL AND INTERIOR ELEVATIONS TAKEN TO FINISHED FACE OF WALL OR TRIM AS NOTED).
7. DIMENSIONS NOTED AS 'CLEAR' ARE TO MAINTAIN THE MINIMUM NOTED FINISHED DIMENSION FROM FINISHED FACE TO FINISHED FACE OF FURTHEST FINISHED MATERIAL / PROTRUSIONS INTO THE CLEAR FLOOR SPACE SUCH AS BASEBOARD / BASE SHOE / TRIM AND SIMILAR.
8. ALL INTERIOR NON-LOAD BEARING WALLS ARE 2X4 UNLESS NOTED OTHERWISE. ALL LOAD BEARING AND EXTERIOR WALLS ARE 2X6 UNLESS NOTED OTHERWISE. FLOOR AND ROOF FRAMING TO STACK WITH STUDS BELOW. REFER TO STRUCTURAL DRAWINGS AND WALL TYPES.
9. UNLESS NOTED OTHERWISE, DOORS IN CORNERS OF NON-LOAD BEARING PARTITIONS SHALL BE MINIMUM 4" FROM FACE OF JACK/JAMB STUD TO FACE OF ADJACENT WALL STUD TO ALLOW FOR CASING. CLOSET DOORS TO BE CENTERED WITHIN WIDTH OF CLOSET UNLESS NOTED OTHERWISE.
10. SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS, DETAILS AND LOCATIONS OF BEARING(SHAR) WALLS AS APPLICABLE.
11. ALL STRUCTURAL MEMBERS SUPPORTING MORE THAN 2 FLOORS OR MORE THAN 1 FLOOR AND A ROOF SHALL BE FIRE PROTECTED AS SHOWN ON CODE SUMMARY.
12. REFER TO RCP FOR CEILING HEIGHTS AND SOFFIT LOCATIONS AS APPLICABLE. SEE UNIT PLANS FOR SOFFITS WITHIN UNITS.
13. REFER TO BUILDING ELEVATIONS FOR EXTERIOR FINISHES AND MATERIAL TRANSITIONS AS APPLICABLE.
14. SEE LIFE SAFETY AND BUILDING SECTION SHEETS FOR NOTES REGARDING FIRE SAFEGING, FIRE BLOCKING, DRAFTSTOPPING, DAMPER AND ANNULAR SPACE PROTECTIONS AS APPLICABLE. (DRAFTSTOPPING IS NOT REQUIRED DUE TO NFPA 13 SPRINKLER SYSTEM).
15. SEE LIFE-SAFETY PLAN AND NOTES FOR FIRE EXTINGUISHER INFORMATION.
16. SEE 700 SERIES SHEETS FOR UNIT PLANS AND DETAILS.
17. SEE SCHEDULE SHEETS FOR DOOR, WINDOW, INTERIOR FINISH AND PARTITION TYPES / RATED ASSEMBLY SCHEDULES.
18. PROVIDE RATED GWB PER UL ASSEMBLIES WHERE REQUIRED BY CODE AND WHERE CALLED OUT. SEE PARTITION TYPES / RATED ASSEMBLIES, BUILDING SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION / ASSEMBLY CONSTRUCTION INFORMATION.
19. PROTECT GWB FROM MOISTURE AND CONTAMINANTS. ALL GWB, LINER PANELS, ETC THAT COULD BE EXPOSED TO THE ELEMENTS PRIOR TO BUILDING CLOSE-IN MUST BE MOLD RESISTANT PAPERLESS TYPE (FIBERGLASS OR SIMILAR).
20. PROVIDE MOISTURE RESISTANT GWB IN DAMP LOCATIONS.
21. PROVIDE IMPACT RESISTANT DRYWALL UP TO 4'-0" IN ACCESSIBLE UNITS AND UTILITY / MAINTENANCE AND TRASH ROOM AREAS, U.N.O.
22. WHERE 5/8" AND 1/2" GWB ARE USED ON THE SAME WALL PLANE, CARRY 5/8" THROUGH TO NEAREST BREAK IN PLANE TO AVOID SEAMING DISCREPANCIES.
23. CAULK PERIMETER OF GWB FLOORS, WALLS AND CEILINGS WITH RATED ACOUSTICAL SEALANT TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATED ASSEMBLY. SEAL ALL ELECTRIC, TV AND OTHER JUNCTION BOXES TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATINGS AND WHEREVER WALLS HAVE A MINIMUM STORATING REQUIREMENT.
24. COMPLETE GWB INSTALLATION AND AIR SEALING ON ALL FIRE RATED ASSEMBLIES PRIOR TO FRAMING SOFFITS BELOW.
25. AIR SEAL ALL SOFFITS WHERE ADJACENT TO EXTERIOR WALLS. AIR SEAL CHASE WALLS, DUCTWORK, PLUMBING PIPE PENETRATIONS, VENT STACKS ETC. AIR SEAL ALL ELECTRIC AND CABLE WIRES, CONDUITS, TV AND OTHER JUNCTION BOXES IN EXTERIOR WALLS OR OTHER BUILDING CAVITY TO MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AIR SEALING. SEE AIR SEALING DETAILS.
26. ALL THRESHOLDS AND FLOOR FINISH MATERIAL TRANSITIONS SHALL BE ADA COMPLIANT. LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2. NO LEVEL CHANGE SHALL EXCEED 1/4".
27. SLOPE ALL FINISH FLOORS TO FLOOR DRAINS AS APPLICABLE. FLASH PATCH AS REQUIRED TO PROVIDE ADEQUATE SLOPE.
28. PROVIDE HANDRAIL ON BOTH SIDE OF CORRIDOR. SEE PLAN FOR LOCATIONS. RETURN HANDRAIL TO WALL AT ENDS UNLESS NOTED OTHERWISE. PROVIDE BLOCKING IN WALL BEHIND ALL HANDRAIL CONNECTION POINTS.
29. NOT USED.
30. FOR GENERAL SIGNAGE REQUIREMENTS REFER TO SIGNAGE SHEETS. SEE ALSO LIFE SAFETY NOTES, FINISH NOTES, ELEVATOR NOTES AND STAIR NOTES. ALL SIGNAGE TO BE COORDINATED WITH OWNER'S INTERIOR DESIGNER. INSTALL SIGNAGE IN ACCORDANCE WITH ALL REGULATING CODES AND STANDARDS, INCLUDING ICC/A117.1-2009.
31. PROVIDE BINS LABELED SPECIFICALLY FOR RECYCLING IN THE MANAGEMENT OFFICE, MAIL ROOM, COMMUNITY ROOM, ALL TRASH ROOMS AND ALL UNITS.
32. PROVIDE HOOK-UPS AND APPLIANCES FOR DWELLING UNIT LAUNDRY ROOMS / CLOSETS. SEE SPECIFICATIONS FOR MODEL NUMBERS. LAUNDRY EQUIPMENT SHALL BE ENERGY STAR COMPLIANT AND ADA COMPLIANT AS SPECIFIED.
33. PROVIDE HOOK-UPS FOR LAUNDRY EQUIPMENT (FRONT LOAD WASHERS AND FRONT LOAD DRYERS) IN EACH LAUNDRY ROOM; LAUNDRY EQUIPMENT TO BE ENERGY STAR COMPLIANT, ADA COMPLIANT AND SUPPLIED BY VENDOR. COORDINATE WITH VENDOR PRIOR TO INSTALLATION.
34. NOT USED.
35. NOT USED.
36. PROVIDE PLYWOOD BACKING PANELS FOR CATV, TELEPHONE, INTERNET, ELECTRICAL AND SIMILAR EQUIPMENT. COORDINATE WITH ELECTRICAL DRAWINGS.

DEMO KEYNOTES

D1	PARTITION STUDS OR CMU TO REMAIN UNLESS DAMAGED. REMOVE GWB & TRIM. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS OR CMU. PREPARE FOR NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D14	WALL STUDS & SHETHING TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, WALL INSULATION, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS.
D2	CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF DOOR SHOWN ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM.	D15	REMOVE ALL CABINETRY AND APPLIANCES & DISPOSE.
D3	REMOVE PARTITION WALL IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO GWB, DOORS & TRIM. SEE MPE DRAWINGS FOR ADDITIONAL DEMO SCOPE.	D16	STAIR CASE AND INTERIOR GUARDRAIL TO REMAIN U.N.O. PREPARE SURFACES TO RECEIVE FLOOR FINISH PER NEW CONSTRUCTION DRAWINGS. PROVIDE WALL MOUNTED HANDRAIL AND INTERIOR GUARDRAIL IF APPLICABLE PER NEW CONSTRUCTION DRAWINGS.
D4	REMOVE ENTIRE WALL SYSTEM FROM SLAB TO ROOF. PREPARE OPENING FOR NEW EXTERIOR WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D17	REMOVE EXISTING COLUMN ENCLOSURE & PROVIDE NEW COLUMN ENCLOSURE PER UL ASSEMBLY. PROVIDE FINISH PER NEW CONSTRUCTION DRAWINGS. REPAIR/ PROVIDE COLUMN CRASH PROTECTION AT EXTERIOR.
D5	REMOVE DOOR SYSTEM INCLUDING DOOR, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM PER THE NEW CONSTRUCTION DRAWINGS.	D18	WALL ASSEMBLY TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM WALL.
D6	REMOVE DOOR SYSTEM INCLUDING STOREFRONT DOOR, STOREFRONT SIDE LIGHT, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR.	D19	REMOVE EXISTING ASPHALT PAVEMENT & DISPOSE. CREATE PAD FOR NEW SLAB AND FOOTINGS. SEE CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
D7	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WINDOW.	D20	REMOVE ALL CEILINGS THROUGHOUT & DISPOSE.
D8	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF NEW WINDOW SYSTEM PER THE NEW CONSTRUCTION DRAWINGS. PREPARE OPENING TO RECEIVE NEW WINDOW.	D21	REMOVE ALL PLUMBING FIXTURES & ASSOCIATING PIPING. SEE MPE FOR ADDITIONAL DEMO SCOPE.
D9	REMOVE ALL CONCRETE & CREATE USABLE PAD.	D22	REMOVE EXISTING ROOF MEMBRANE SYSTEM & ASSOCIATED FLASHING AND DISPOSE. PREPARE SURFACES TO RECEIVE NEW ROOF MEMBRANE SYSTEM AND FLASHING PER NEW CONSTRUCTION DRAWINGS. PROVIDE SLOPED ROOF PER NEW CONSTRUCTION DRAWINGS. SEE MPE FOR ADDITIONAL DEMO SCOPE.
D10	REMOVE DOOR OR WINDOW SYSTEM INCLUDING DOOR OR WINDOW, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D23	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF ROOF HATCH ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW ROOF HATCH SYSTEM.
D11	REMOVE ALL FLOORING THROUGHOUT THE FLOOR & DISPOSE. PROVIDE SLAB WITH SMOOTH FINISH.	D24	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF EXISTING ELEVATOR CHASE. PREPARE OPENING TO RECEIVE NEW ELEVATOR SYSTEM AS SPECIFIED.
D12	REMOVE ALL PLUMBING FIXTURES & REPLACE PER NEW CONSTRUCTION DRAWINGS.		
D13	WALL STUDS TO REMAIN UNLESS DAMAGED. REMOVE GWB, SHEATHING & EXTERIOR FINISH. REMOVE ALL NAILS&/OR FASTNERS FROM FROM STUDS.		



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Date: 11-21-2022

Job #: 22021

Drawn: JDP

Mngr: CP/AG

Rev. No.	Name	Date
22021_Comp		

WORK IN PROGRESS-2022-11-21

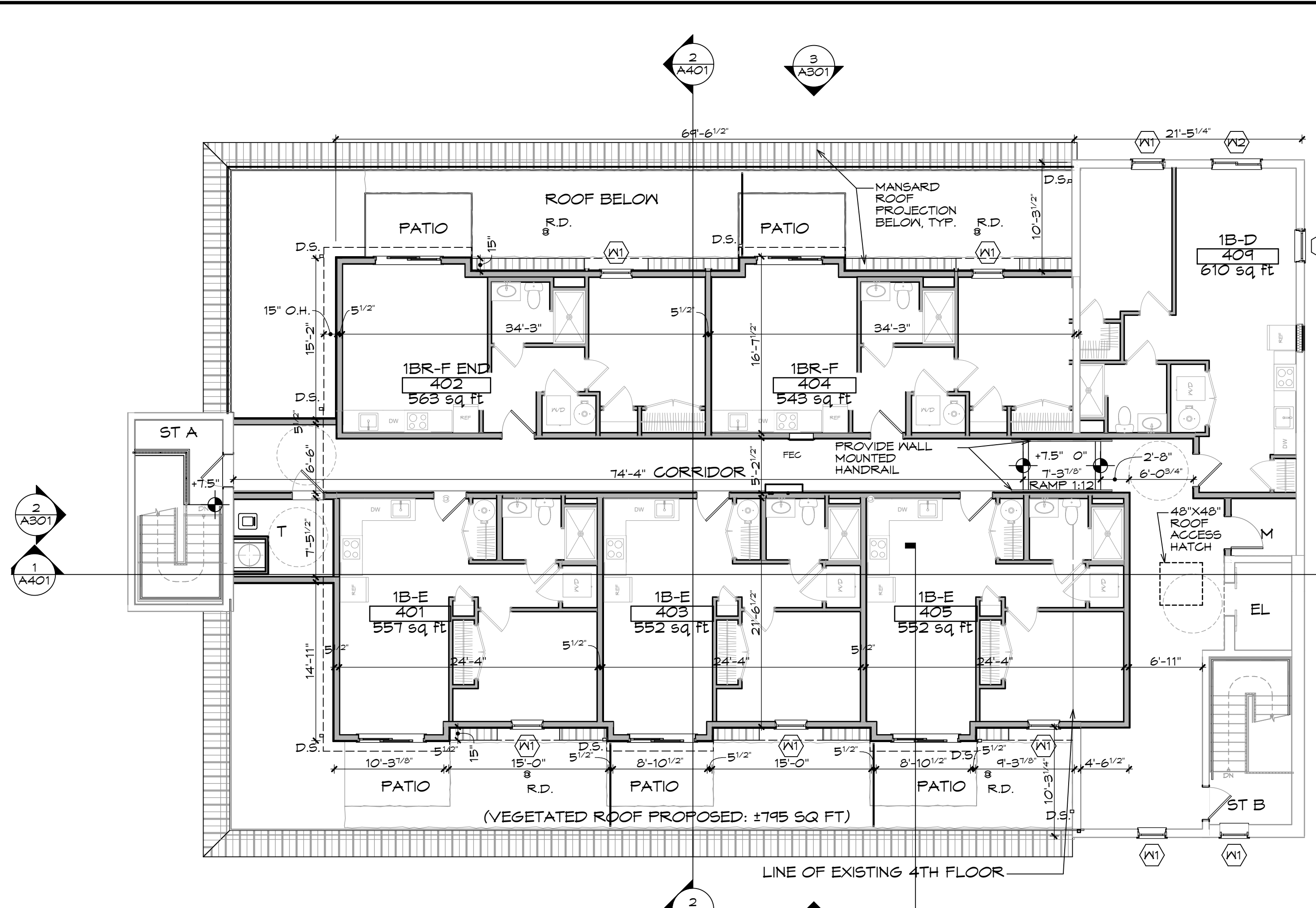
WASHINGTON LANE MIXED-USE

501 Washington Lane
501 Washington Lane
Jenkintown,
Pennsylvania

A102

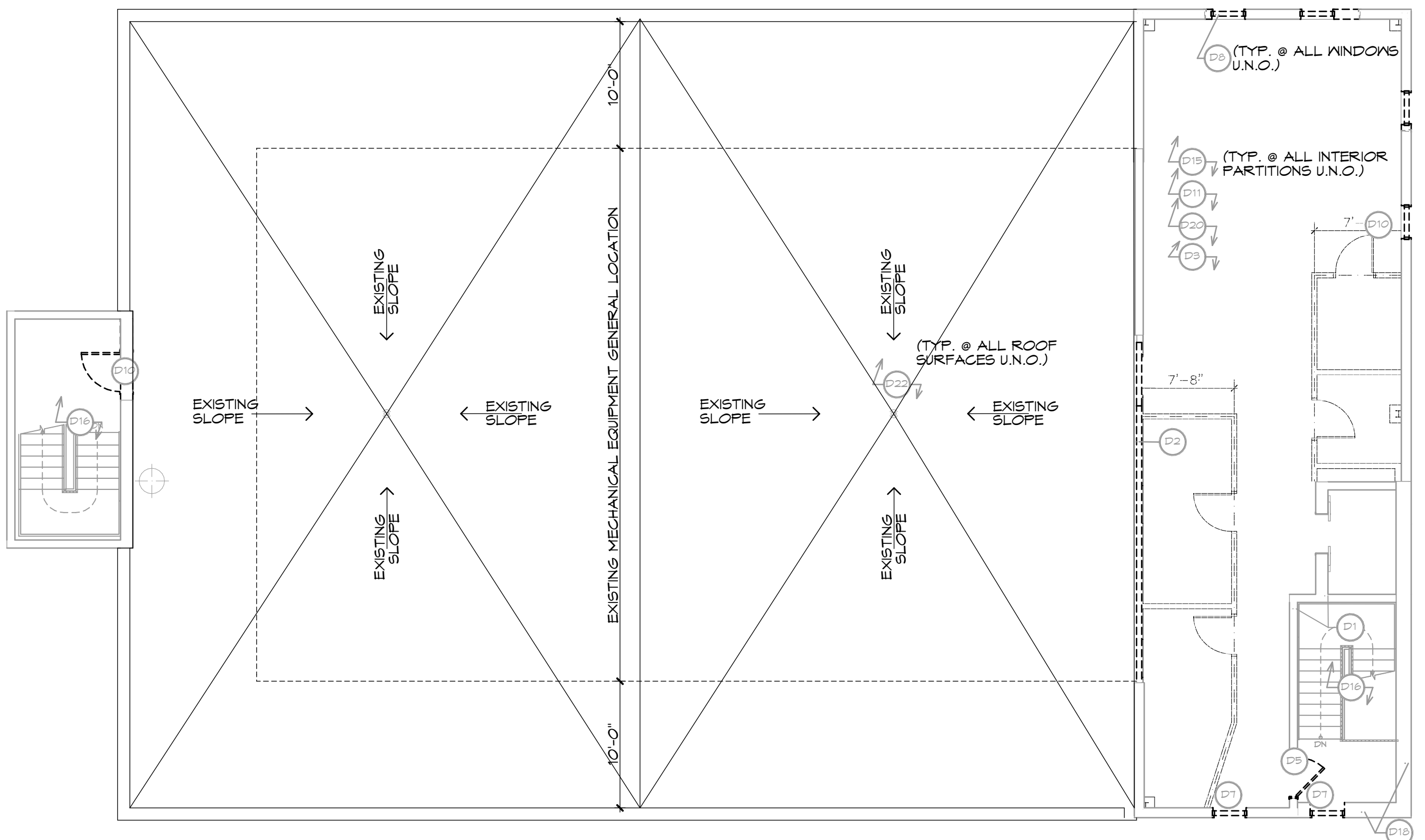
THIRD FLOOR PLAN

V:\Volumes\Projects\2022\22021_TCG_501_Washington_Comp_Acvt4.pln, FOURTH FLOOR PLAN, Monday, November 21, 2022, 4:52 PM



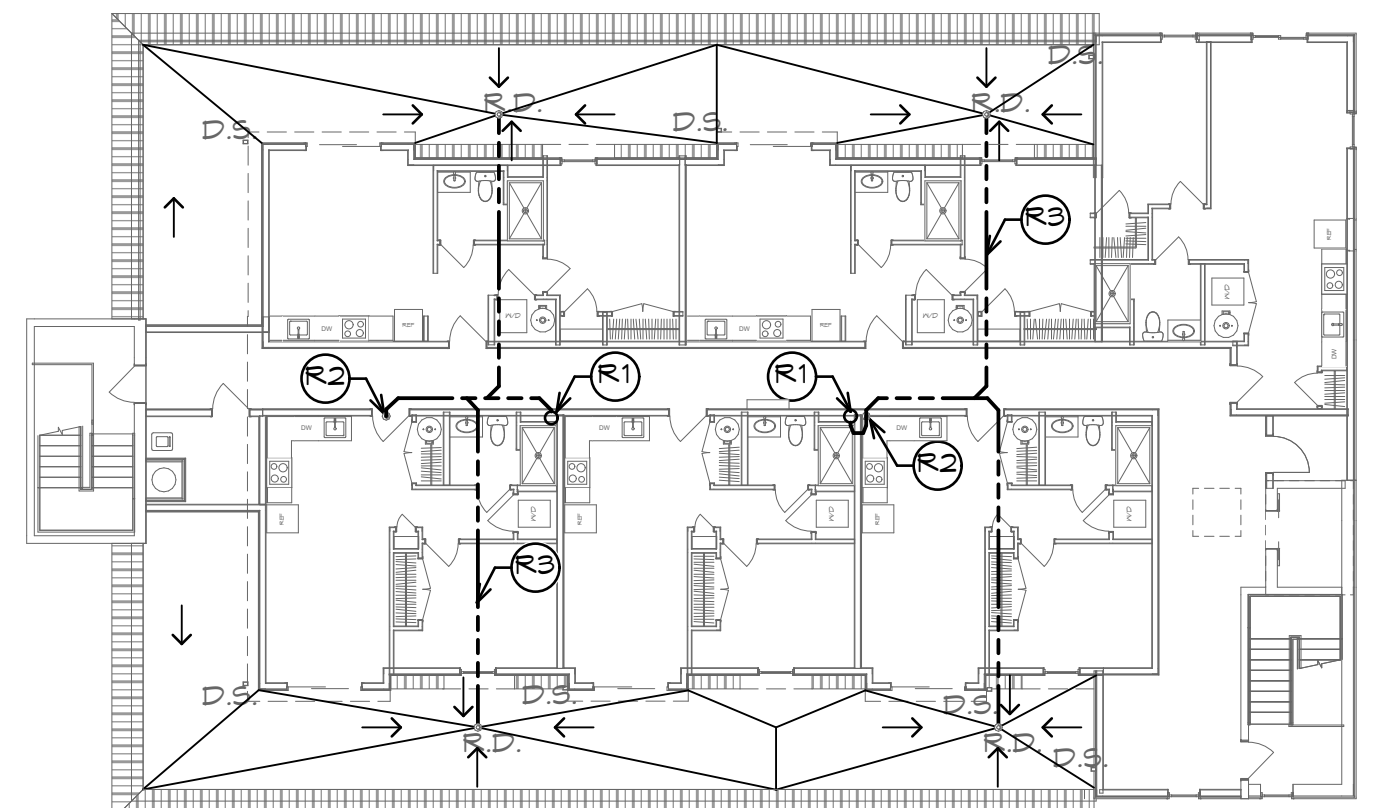
2 FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND
— EXISTING TO REMAIN
— NEW CONSTRUCTION



1 FOURTH FLOOR-DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

LEGEND
— EXISTING TO REMAIN
--- TO BE DEMO



3 FOURTH FLOOR - PROPOSED ROOF DRAINAGE PLAN
SCALE: 1/16" = 1'-0"

BUILDING PLAN NOTES

- REFER TO CIVIL DRAWINGS FOR FINAL GRADE, TOP OF SLAB ELEVATIONS, SIDEWALK LOCATIONS / DIMENSIONS AND ALL SITE AND UTILITY INFORMATION / COORDINATION. BRING ANY CONFLICTS BETWEEN CIVIL DOCUMENTS AND ARCHITECTURAL / MPEF DOCUMENTS TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK IN QUESTION.
- REFER TO BUILDING PLAN(S) FOR BUILDING LAYOUT / UNIT CONFIGURATION TYPES INCLUDING EXTERIOR WALLS AND UNIT DEMISING WALLS, DOOR & WINDOW TYPES / LOCATIONS. SEE ENLARGED PLANS FOR PARTITION TYPES NOT CALLED OUT.
- REFER TO BUILDING PLANS FOR LOCATION OF RESILIENT CHANNELS IN UNIT DEMISING WALLS. RESILIENT CHANNELS ARE TO BE INSTALLED ON CORRIDOR SIDE OF UNIT U.N.O. SCREWS USED TO ATTACH GWB TO RESILIENT CHANNELS SHALL NOT CONTACT THE STUDS.
- RESILIENT CHANNELS SHALL NOT BE INSTALLED DIRECTLY TO PLYWOOD IN SHEAR WALLS.
- REFER TO ENLARGED 1/4" SCALE PLANS AND UNIT PLANS FOR DETAILED DIMENSIONS, DETAIL MARKERS, UNIT PARTITION TYPE TAGS, SOFFITS AND TEMPERED GLAZING LOCATIONS AS APPLICABLE.
- NEW CONSTRUCTION PLAN DIMENSIONS ARE TAKEN TO FACE OF FRAMING MEMBERS OR FACE OF [CMU]CONCRETE, TYP. UNO. (EXCEPTIONS INCLUDE HAUNCH OR COLUMN LOCATIONS TAKEN TO CENTERLINE OF WALL AND INTERIOR ELEVATIONS TAKEN TO FINISHED FACE OF WALL OR TRIM AS NOTED).
- DIMENSIONS NOTED AS 'CLEAR' ARE TO MAINTAIN THE MINIMUM NOTED FINISHED DIMENSION FROM FINISHED FACE TO FINISHED FACE OF FURTHER FINISHED MATERIAL / PROTRUSIONS INTO THE CLEAR FLOOR SPACE SUCH AS BASEBOARD / BASE SHOE / TRIM AND SIMILAR.
- ALL INTERIOR NON-LOAD BEARING WALLS ARE 2X4 UNLESS NOTED OTHERWISE. ALL LOAD BEARING AND EXTERIOR WALLS ARE 2X6 UNLESS NOTED OTHERWISE. FLOOR AND ROOF FRAMING TO STACK WITH STUDS BELOW. REFER TO STRUCTURAL DRAWINGS AND WALL TYPES.
- UNLESS NOTED OTHERWISE, DOORS IN CORNERS OF NON-LOAD BEARING PARTITIONS SHALL BE MINIMUM 4" FROM FACE OF JACK/JAMB STUD TO FACE OF ADJACENT WALL STUD TO ALLOW FOR CASING. CLOSET DOORS TO BE CENTERED WITHIN WIDTH OF CLOSET UNLESS NOTED OTHERWISE.
- SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS, DETAILS AND LOCATIONS OF BEARING(SHEAR) WALLS AS APPLICABLE.
- ALL STRUCTURAL MEMBERS SUPPORTING MORE THAN 2 FLOORS OR MORE THAN 1 FLOOR AND A ROOF SHALL BE FIRE PROTECTED AS SHOWN ON CODE SUMMARY.
- REFER TO RCP FOR CEILING HEIGHTS AND SOFFIT LOCATIONS AS APPLICABLE. SEE UNIT PLANS FOR SOFFITS WITHIN UNITS.
- REFER TO BUILDING ELEVATIONS FOR EXTERIOR FINISHES AND MATERIAL TRANSITIONS AS APPLICABLE.
- SEE LIFE SAFETY AND BUILDING SECTION SHEETS FOR NOTES REGARDING FIRE SAFEGING, FIRE BLOCKING, DRAFTSTOPPING, DAMPER AND ANNULAR SPACE PROTECTIONS AS APPLICABLE. (DRAFTSTOPPING IS NOT REQUIRED DUE TO NFPA 13 SPRINKLER SYSTEM).
- SEE LIFE SAFETY PLAN AND NOTES FOR FIRE EXTINGUISHER INFORMATION.
- SEE 700 SERIES SHEETS FOR UNIT PLANS AND DETAILS.
- SEE SCHEDULE SHEETS FOR DOOR, WINDOW, INTERIOR FINISH AND PARTITION TYPES / RATED ASSEMBLY SCHEDULES.
- PROVIDE RATED GWB PER UL ASSEMBLIES WHERE REQUIRED BY CODE AND WHERE CALLED OUT. SEE PARTITION TYPES / RATED ASSEMBLIES, BUILDING SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL PARTITION / ASSEMBLY CONSTRUCTION INFORMATION.
- PROTECT GWB FROM MOISTURE AND CONTAMINANTS. ALL GWB, LINER PANELS, ETC THAT COULD BE EXPOSED TO THE ELEMENTS PRIOR TO BUILDING CLOSE-IN MUST BE MOLD RESISTANT PAPERLESS TYPE (E.g. BERRIGLASS OR SIMILAR).
- PROVIDE MOISTURE RESISTANT GWB IN DAMP LOCATIONS.
- PROVIDE IMPACT RESISTANT DRYWALL UP TO 4'-0" IN ACCESSIBLE UNITS AND UTILITY / MAINTENANCE AND TRASH ROOM AREAS, U.N.O.
- WHERE 5/8" AND 1/2" GWB ARE USED ON THE SAME WALL PLANE, CARRY 5/8" THROUGH TO NEAREST BREAK IN PLANE TO AVOID SEAMING DISCREPANCIES.
- CAULK PERIMETER OF GWB FLOORS, WALLS AND CEILINGS WITH RATED ACOUSTICAL SEALANT TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATED ASSEMBLY. SEAL ALL ELECTRIC, TV AND OTHER JUNCTION BOXES TO MAINTAIN INTEGRITY OF SOUND AND FIRE RATINGS AND WHEREVER WALLS HAVE A MINIMUM STORATING REQUIREMENT.
- COMPLETE GWB INSTALLATION AND AIR SEALING ON ALL FIRE RATED ASSEMBLIES PRIOR TO FRAMING SOFFITS BELOW.
- AIR SEAL ALL SOFFITS WHERE ADJACENT TO EXTERIOR WALLS, AIR SEAL CHASE WALLS, DUCTWORK, PLUMBING PIPE PENETRATIONS, VENT STACKS ETC. AIR SEAL ALL ELECTRIC AND CABLE WIRES, CONDUITS, TV AND OTHER JUNCTION BOXES IN EXTERIOR WALLS OR OTHER BUILDING CAVITY TO MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AIR SEALING. SEE AIR SEALING DETAILS.
- ALL THRESHOLDS AND FLOOR FINISH MATERIAL TRANSITIONS SHALL BE ADA COMPLIANT. LEVEL CHANGES GREATER THAN 1/4" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2. NO LEVEL CHANGE SHALL EXCEED 1/4".
- SLOPE ALL FINISH FLOORS TO FLOOR DRAINS AS APPLICABLE. FLASH PATCH AS REQUIRED TO PROVIDE ADEQUATE SLOPE.
- PROVIDE HANDRAIL ON BOTH SIDE OF CORRIDOR. SEE PLAN FOR LOCATIONS. RETURN HANDRAIL TO WALL AT ENDS UNLESS NOTED OTHERWISE. PROVIDE BLOCKING IN WALL BEHIND ALL HANDRAIL CONNECTION POINTS.
- NOT USED
- FOR GENERAL SIGNAGE REQUIREMENTS REFER TO SIGNAGE SHEETS. SEE ALSO LIFE SAFETY NOTES, FINISH NOTES, ELEVATOR NOTES AND STAIR NOTES. ALL SIGNAGE TO BE COORDINATED WITH OWNER'S INTERIOR DESIGNER. INSTALL SIGNAGE IN ACCORDANCE WITH ALL REGULATING CODES AND STANDARDS, INCLUDING ICC/A117.1-2009.
- PROVIDE BINS LABELED SPECIFICALLY FOR RECYCLING IN THE MANAGEMENT OFFICE, MAIL ROOM, COMMUNITY ROOM, ALL TRASH ROOMS AND ALL UNITS.
- PROVIDE HOOK-UPS AND APPLIANCES FOR DWELLING UNIT LAUNDRY ROOMS / CLOSETS. SEE SPECIFICATIONS FOR MODEL NUMBERS. LAUNDRY EQUIPMENT SHALL BE ENERGY STAR COMPLIANT AND ADA COMPLIANT AS SPECIFIED.
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DEMO KEYNOTES

D1	PARTITION STUDS OR CMU TO REMAIN UNLESS DAMAGED. REMOVE GWB & TRIM. REMOVE ALL NAILS &/OR FASTNERS FROM FROM STUDS OR CMU. PREPARE FOR NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D14	WALL STUDS & SHETHING TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, WALL INSULATION, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS.
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D4	REMOVE ENTIRE WALL SYSTEM FROM SLAB TO ROOF. PREPARE OPENING FOR NEW EXTERIOR WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D17	REMOVE EXISTING COLUMN ENCLOSURE & PROVIDE NEW COLUMN ENCLOSURE PER UL ASSEMBLY. PROVIDE FINISH PER NEW CONSTRUCTION DRAWINGS. REPAIR/ PROVIDE COLUMN CRASH PROTECTION AT EXTERIOR.
D5	REMOVE DOOR SYSTEM INCLUDING DOOR, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM PER THE NEW CONSTRUCTION DRAWINGS.	D18	WALL ASSEMBLY TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM WALL.
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D7	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WINDOW.	D20	REMOVE ALL CEILINGS THROUGHOUT & DISPOSE.
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D10	REMOVE DOOR OR WINDOW SYSTEM INCLUDING DOOR OR WINDOW, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D23	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF ROOF HATCH ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW ROOF HATCH SYSTEM.
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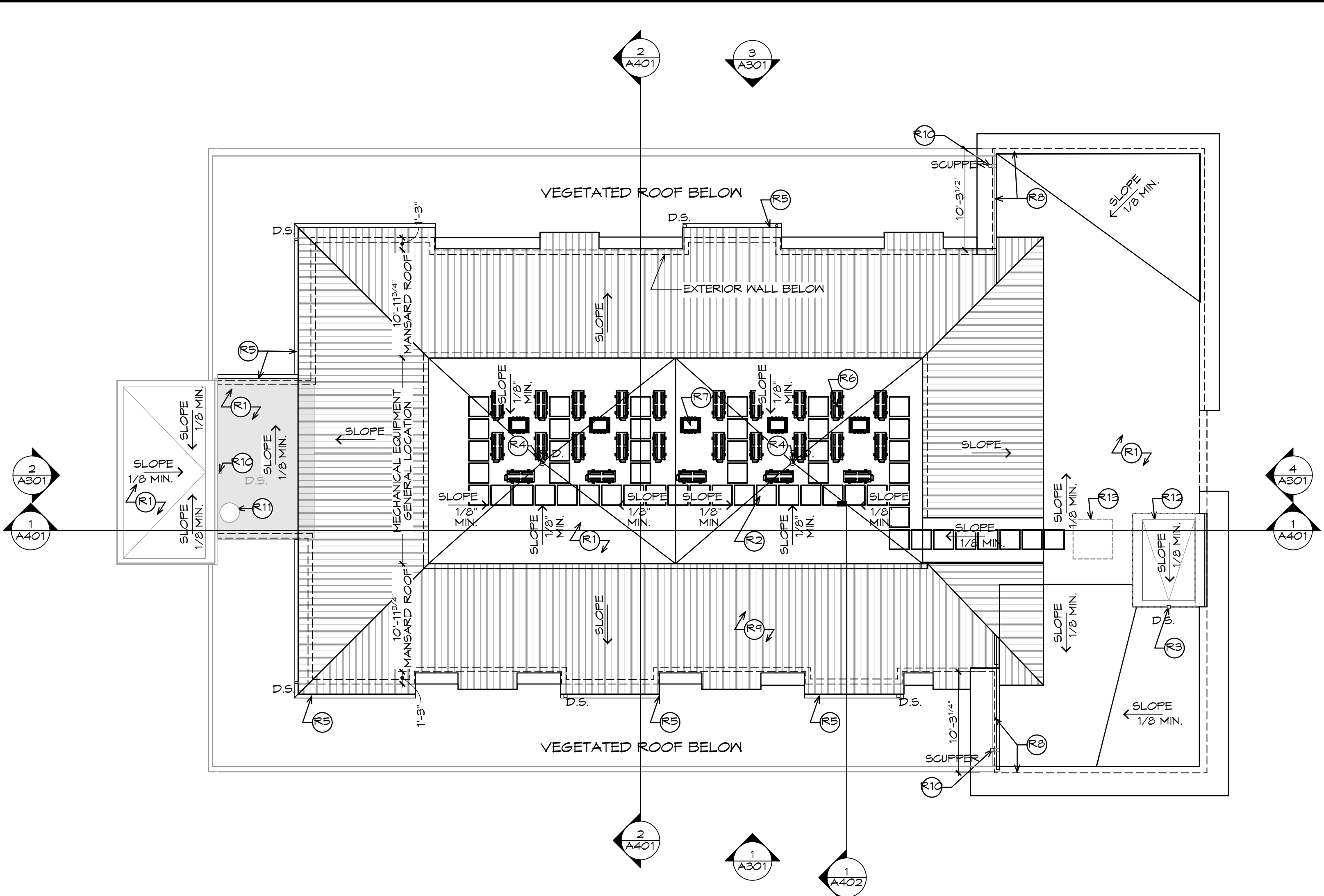
WORK IN PROGRESS-2022-11-21
WASHINGTON LANE MIXED-USE

501 Washington Lane
501 Washington Lane Jenkintown,
Pennsylvania

A103

FOURTH FLOOR
PLAN

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ROOF PLAN KEY NOTES	
R1.	TPO ROOFING
R2.	ROOFING SYSTEM WALKWAY PAD
R3.	DOWNSPOUT, DISCHARGE TO ROOF BELOW, TERMINATE WITH WALKWAY PAD.
R4.	ROOF DRAIN CONNECTED TO EXISTING DRAIN BELOW
R5.	ALUMINUM GUTTER, SLOPE TO DRAIN 1/8" PER FOOT TO DOWNSPOUT, DISCHARGE TO ROOF BELOW TERMINATE WITH WALKWAY PAD.
R6.	ROOFTOP CONDENSING UNIT, SEE MECH DRAWINGS.
R7.	ROOF PENETRATION HOUSING, B.O.D. VAULT ANI-201412
R8.	PARAPET SEE ROOF DETAILS AND WALL SECTIONS
R9.	STANDING SEAM METAL ROOFING AT MANSARD ROOF, SEE SECTIONS.
R10.	THRU-WALL SCUPPER WITH CONDUCTOR HEAD AND LEADER, COORDINATE SCUPPER LOCATION WITH PARAPET.
R11.	TRASH CHUTE VENT, SEE SPEC AND WALL SECTIONS.
R12.	ELEVATOR CHASE GAP, N.C. OPENING, COORDINATE WITH EXISTING ROOF STRUCTURE ELEMENTS, SEE STRUCTURAL DRAWINGS
R13.	48"X48" ROOF ACCESS HATCH, N.C. OPENING, COORDINATE WITH EXISTING ROOF STRUCTURE ELEMENTS, SEE STRUCTURAL DRAWINGS

- ROOF PLAN NOTES
1.

ROOFING ASSEMBLIES TO BE INSTALLED PER IBC CHAPTER 15, NRCA LOW SLOPE MANUAL (LATEST EDITION), AND MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS [TO WITHSTAND WIND SPEEDS OF 110" MPH OR MORE PER IBC CODE SECTION 1609]
2.

ALL ROOFING ASSEMBLIES / MATERIALS SHALL HAVE A CLASS "B" FIRE CLASSIFICATION RATING U.N.O.
3.

ON "FLAT" ROOFS PROVIDE 20-YEAR, FULL COVERAGE WARRANTY, .060 WHITE TPO ROOFING SYSTEM WITH ASSOCIATED PRIMERS AND ACCESSORIES OVER MANUFACTURER'S RECOMMENDED [RECOVERY BOARD] [INSULATION], INSTALL IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SLOPE 1/4" PER FOOT MINIMUM TOWARD ROOF DRAINS, GUTTERS, OR SCUPPERS UNO.
4.

PROVIDE MINIMUM INSULATION THICKNESS TO PROVIDE R49. PROVIDE ADDITIONAL TAPERED INSULATION AS REQUIRED TO ENSURE ALL ROOF AREAS SLOPE TO DRAINS, SCUPPERS OR GUTTERS.
5.

WHEN A WALL IS RATED DUE TO FIRE SEPARATION DISTANCE, NO OPENINGS SHALL BE LOCATED IN ROOFING WITHIN 10FT OF THE WALL, MEASURED FROM THE INSIDE OF THE WALL. [IBC 705.11 EX4]
6.

CONTRACTOR SHALL PROVIDE SHEET LAYOUT AND SEAMING DIAGRAMS FOR REVIEW BY ARCHITECT AND MANUFACTURE'S REP DURING SHOP DRAWING REVIEW.
7.

PROVIDE TRAFFIC / WALKWAY PADS BY ROOFING MANUFACTURER OR EQUAL, INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS
8.

PROVIDE ADDITIONAL WALKWAY PADS UNDER EACH DOWNSPOUT THAT DISCHARGES ONTO ROOF MEMBRANE.
9.

PROVIDE CRICKETS ON HIGH SIDES OF ALL SQUARE / RECTANGULAR ROOF PENETRATIONS OR ROOFTOP EQUIPMENT AND WHERE NEEDED TO PROVIDE POSITIVE DRAINAGE, CRICKETS SHALL BE MINIMUM 1/2" / FT.
10.

NOT USED
11.

NOT USED
12.

PRIME ALL SURFACES REQUIRED BY MANUFACTURER TO BE PRIMED TO ENSURE PROPER INSTALLATION OF ROOF MATERIALS
13.

ALL DISSIMILAR METALS THAT ARE TO BE JOINED SHALL BE COATED /BACK PAINTED TO PREVENT CORROSION.
14.

PROVIDE AND INSTALL FLASHING PER INDUSTRY STANDARDS AND MANUFACTURER'S WRITTEN INSTRUCTIONS, PENETRATIONS INSTRUCTIONS AT ALL ROOF / WALL CONDITIONS, PARAPET AND ROOF EDGE CONDITIONS, PERIMETERS, RIDGES, CORNERS, PITCH CHANGES, PENETRATIONS, PENETRATIONS AND ELSEWHERE AS REQUIRED TO PROVIDE A WATERTIGHT SYSTEM.
15.

ALL SURFACES WHICH ARE TO RECEIVE FLASHING SHALL BE PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN REQUIREMENTS TO ENSURE MATERIAL COMPATIBILITY WITH ADJACENT MATERIALS.
16.

COORDINATE FLASHING FASTENER MATERIALS APPROPRIATE FOR APPLICABLE SUBSTRATE PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
17.

MAINTAIN 8" FLASHING HEIGHT MINIMUM UNO, LAP FLASHING AS REQUIRED TO SHED WATER, TAPE, SEAL, TERMINATE TOP EDGE OF FLASHING TO (SHEATHING TO INTEGRAL WRB DRAINAGE PLANE) [WALL] AS APPLICABLE. SEE TYPICAL ROOF DETAILS.
18.

EXTEND VENT FLASHING MIN. 6" AROUND ALL VENTS, U.N.O.
19.

PROVIDE STEP FLASHING AT ROOF/WALL CONDITIONS.
20.

PROVIDE KICK-OUT FLASHING AT ALL ROOF / WALL / GUTTER INTERSECTIONS, PROVIDE LAYER OF SELF-ADHERED FLASHING MEMBRANE BEHIND EXTERIOR CLADDING TO PROTECT WALL ASSEMBLY.
21.

STORAGE OF ROOFING MATERIAL SHALL BE PERMITTED ON ROOF AS LONG AS WITHIN STRUCTURAL LIMITATIONS OF ROOF ASSEMBLY, STORE ANY HAZARDOUS AND/OR FLAMMABLE MATERIALS SECURELY OUTDOORS, NOT ON THE ROOF.
22.

THE CONTRACTOR SHALL PROVIDE A FIRE WATCH WHEN OPERATIONS INVOLVE OPEN FLAME WORK, A MINIMUM OF 2 FIRE EXTINGUISHERS SHALL BE ON THE ROOF AT ALL TIMES DURING SUCH WORK.
23.

THE CONTRACTOR SHALL CLEAN ALL DEBRIS FROM ROOF AREAS EVERY DAY DURING CONSTRUCTION THROUGH TO FINAL COMPLETION, KEEP ROOF DRAINS, SCUPPERS, GUTTERS, AND OTHER PENETRATIONS CLEAR OF DEBRIS.
24.

CONTRACTOR SHALL PLUG ALL ROOF DRAINS IN AREA OF WORK, REMOVE PLUGS AT THE END OF THE DAY, DRAINS SHALL BE KEPT CLEAN, FLOWING AND WATERTIGHT DURING ALL STAGES OF WORK, AFTER ALL OTHER WORK IS COMPLETED, CONTRACTOR SHALL CLEAN AND TEST ALL ROOF DRAINS BEFORE COMPLETION OF PROJECT. WATER TEST IN PRESENCE OF OWNER TO PROVE FREE DRAINAGE.] PROVIDE OR PAINT ALL VENTS IN SLOPED ROOFS TO MATCH ROOF COLOR, WITH FINISH APPROPRIATE FOR EXTERIOR CONDITIONS AND VENT MATERIAL.
25.

CONTRACTOR SHALL CLEAN ALL DEBRIS FROM ROOF AREAS EVERY DAY DURING CONSTRUCTION THROUGH TO FINAL COMPLETION, KEEP ROOF DRAINS, SCUPPERS, GUTTERS, AND OTHER PENETRATIONS CLEAR OF DEBRIS.
26.

CONTRACTOR SHALL PLUG ALL ROOF DRAINS IN AREA OF WORK, REMOVE PLUGS AT THE END OF THE DAY, DRAINS SHALL BE KEPT CLEAN, FLOWING AND WATERTIGHT DURING ALL STAGES OF WORK, AFTER ALL OTHER WORK IS COMPLETED, CONTRACTOR SHALL CLEAN AND TEST ALL ROOF DRAINS BEFORE COMPLETION OF PROJECT. WATER TEST IN PRESENCE OF OWNER TO PROVE FREE DRAINAGE.] PROVIDE OR PAINT ALL VENTS IN SLOPED ROOFS TO MATCH ROOF COLOR, WITH FINISH APPROPRIATE FOR EXTERIOR CONDITIONS AND VENT MATERIAL.
27.

ALL ALUMINUM SCUPPER AND CONDUCTOR HEAD SIZE AS DETERMINED BY PLUMBING ENGINEER BASED ON CALCULATED VOLUMES DETERMINED BY FORMULA IN PLUMBING CODE.
28.

ALL GUTTERS SHALL BE PREFINISHED, SEAMLESS, 5" BOX SHAPE U.N.O. (GUTTER SIZE AS DETERMINED BY PLUMBING ENGINEER BASED ON CALCULATED VOLUMES DETERMINED BY FORMULA IN PLUMBING CODE.) PROVIDE GUTTER HANGERS MINIMUM 3'-0" O.C. SLOPED TO DRAIN 1/8" PER FOOT, U.N.O.
29.

ALL DOWNSPOUTS (DS) SHALL BE .032, PREFINISHED AND SEAMLESS ALUMINUM, 3" x 4" UNO, DOWNSPOUTS SHALL DISCHARGE TO UNDERGROUND STORM WATER SYSTEM, TYPICAL U.N.O. SEE CIVIL DRAWINGS. [SOME DISCHARGE TO SPLASH BLOCK OR WALKWAY PADS ON ROOF AS NOTED.] PROVIDE CLEANOUT BEFORE CONNECTING TO BOOT. [SEE CIVIL DRAWINGS FOR BOOT LOCATIONS]. [DOWNSPOUT SIZE AS DETERMINED BY PLUMBING ENGINEER BASED ON CALCULATED VOLUMES DETERMINED BY FORMULA IN PLUMBING CODE].
30.

REFER TO MPE DRAWINGS FOR ALL ROOFTOP EQUIPMENT, CURBS AND ASSOCIATED ELECTRICAL PIPING
31.

PENETRATIONS, VENTS, FANS, AND OTHER REQUIRED ROOF PENETRATIONS. SEE ROOF DETAILS AND MECHANICAL DRAWINGS FOR EQUIPMENT SUPPORT, PROVIDE ADDITIONAL BLOCKING UNDER CURBS WHERE REQUIRED IN ORDER TO MAINTAIN 8" FLASHING HEIGHT OR HEIGHT AS REQUIRED BY ROOFING CONTRACTOR OR EQUIPMENT MANUFACTURER.
32.

COORDINATE LOCATIONS OF ROOFTOP EQUIPMENT WITH TRUSSES TO AVOID PENETRATION CONFLICTS.
33.

ALTHOUGH DETAIL REFERENCES MAY BE SHOWN IN ONLY ONE PLACE ON THE ROOF PLAN, EACH DETAIL SHALL BE CONSIDERED TYPICAL AND APPLICABLE TO ALL LOCATIONS AND CONDITIONS SIMILAR TO THAT ROOF AREA.
34.

DETAILS SHOW MINIMUM REQUIREMENTS, ANY MANUFACTURER REQUIREMENTS WHICH EXCEED THAT SHOWN SHALL ALSO BE PROVIDED / SATISFIED.
35.

REFER TO MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND DETAILS FOR INFORMATION NOT SHOWN.
36.

EXISTING CONDITIONS TAKEN FROM CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, PREPARED BY SPEARMEN ASSOCIATES, DATED 05/04/2004, AS WELL AS FIELD OBSERVATIONS BY THRIVEN DESIGNS IN 9/16/2022.
37.

GC AND THE ROOFING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND SHALL CONFIRM THE REQUIRED LENGTHS OF FASTENERS PRIOR TO COMMENCEMENT OF THE WORK.
38.

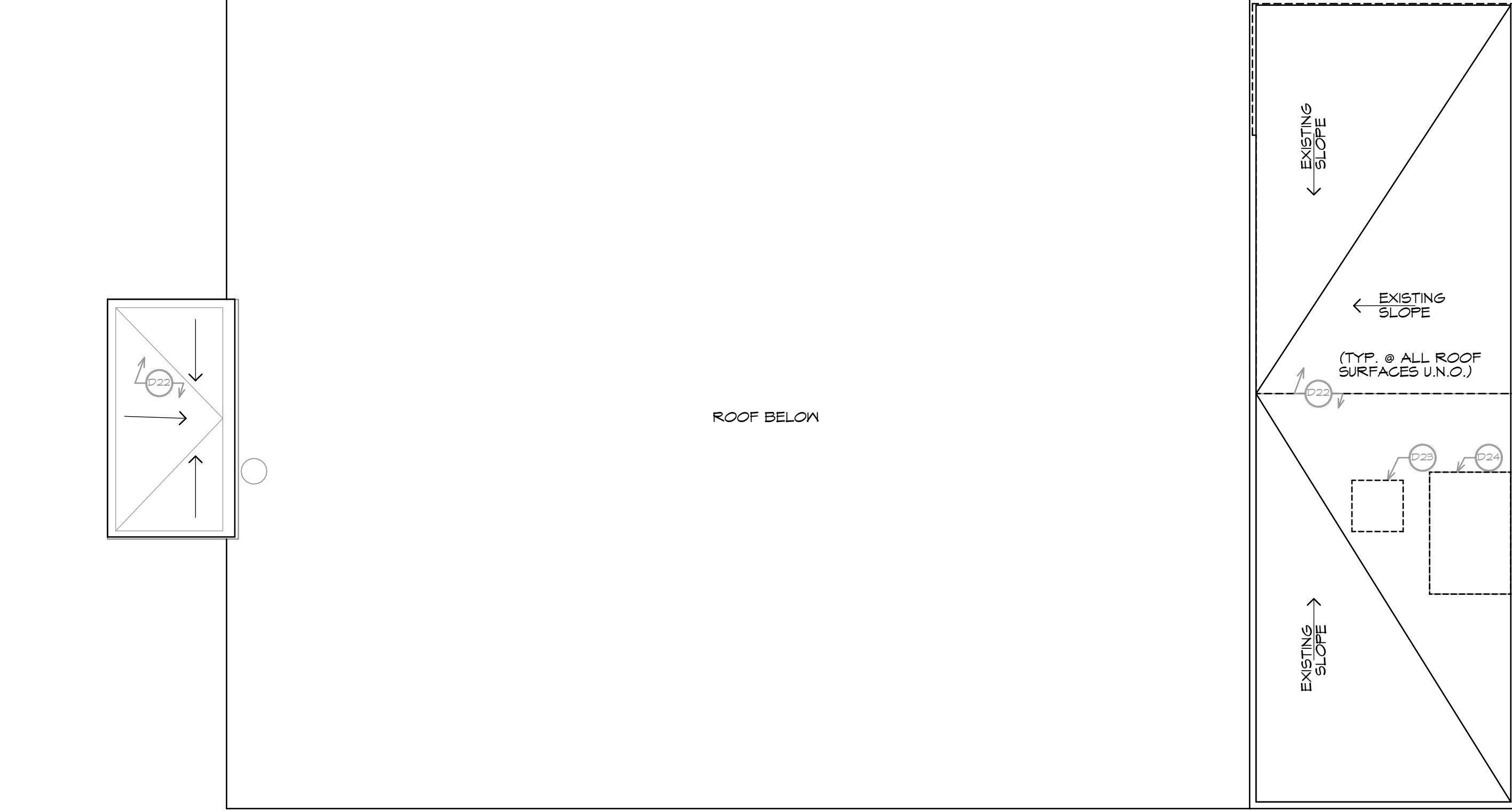
CONTRACTOR SHALL NOT TEAR OFF MORE ROOFING THAN CAN BE REPLACED AND MADE WATERTIGHT THE SAME DAY. CONTRACTOR SHALL NOT LOAD ROOF DECK WITH EXCESSIVE MATERIALS OR DEBRIS; MATERIAL MUST BE REMOVED DAILY.
39.

ALL DIMENSIONS ON PLANS ARE APPROXIMATE (+/-). GC TO VERIFY DIMENSIONS IN THE FIELD AND CONSULT ARCHITECT / ENGINEER IN CASE OF CONFLICT OR QUESTION.

1

ROOF PLAN

SCALE: 1/8" = 1'-0"



2

ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMO KEYNOTES			
D1	PARTITION STUDS OR CMU TO REMAIN UNLESS DAMAGED. REMOVE GWB & TRIM. REMOVE ALL NAILS &/OR FASTNERS FROM FROM STUDS OR CMU. PREPARE FOR NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D13	WALL STUDS TO REMAIN UNLESS DAMAGED. REMOVE GWB, SHEATHING & EXTERIOR FINISH. REMOVE ALL NAILS&/OR FASTNERS FROM FROM STUDS.
D2	CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF DOOR SHOWN ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM.	D14	WALL STUDS & SHETHING TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, WALL INSULATION, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM STUDS.
D3	REMOVE PARTITION WALL IN IT'S ENTIRETY, INCLUDING BUT NOT LIMITED TO GWB, DOORS & TRIM. SEE MPE DRAWINGS FOR ADDITIONAL DEMO SCOPE.	D15	REMOVE ALL CABINETRY AND APPLIANCES & DISPOSE.
D4	REMOVE ENTIRE WALL SYSTEM FROM SLAB TO ROOF. PREPARE OPENING FOR NEW EXTERIOR WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D16	STAIR CASE AND INTERIOR GUARDRAIL TO REMAIN U.N.O. PREPARE SURFACES TO RECEIVE FLOOR FINISH PER NEW CONSTRUCTION DRAWINGS. PROVIDE WALL MOUNTED HANDRAIL AND INTERIOR GUARDRAIL IF APPLICABLE PER NEW CONSTRUCTION DRAWINGS.
D5	REMOVE DOOR SYSTEM INCLUDING DOOR, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR SYSTEM PER THE NEW CONSTRUCTION DRAWINGS.	D17	REMOVE EXISTING COLUMN ENCLOSURE & PROVIDE NEW COLUMN ENCLOSURE PER UL ASSEMBLY. PROVIDE FINISH PER NEW CONSTRUCTION DRAWINGS. REPAIR/ PROVIDE COLUMN CRASH PROTECTION AT EXTERIOR.
D6	REMOVE DOOR SYSTEM INCLUDING STOREFRONT DOOR, STOREFRONT SIDE LIGHT, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW DOOR.	D18	WALL ASSEMBLY TO REMAIN UNLESS DAMAGED. REMOVE ALL GWB, TRIM & EXTERIOR FINISH. REMOVE ALL NAILS &/OR FASTNERS FROM WALL.
D7	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WINDOW.	D19	REMOVE EXISTING ASPHALT PAVEMENT & DISPOSE. CREATE PAD FOR NEW SLAB AND FOOTINGS. SEE CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
D8	REMOVE WINDOW SYSTEM INCLUDING WINDOW, FRAME & TRIM. CUT EXISTING WALL ASSEMBLY TO DIMENSIONS OF NEW WINDOW SYSTEM PER THE NEW CONSTRUCTION DRAWINGS. PREPARE OPENING TO RECEIVE NEW WINDOW	D20	REMOVE ALL CEILINGS THROUGHOUT & DISPOSE.
D9	REMOVE ALL CONCRETE & CREATE USABLE PAD.	D21	REMOVE ALL PLUMBING FIXTURES & ASSOCIATING PIPING. SEE MPE FOR ADDITIONAL DEMO SCOPE
D10	REMOVE DOOR OR WINDOW SYSTEM INCLUDING DOOR OR WINDOW, HARDWARE, FRAME & TRIM. PREPARE OPENING TO RECEIVE NEW WALL ASSEMBLY PER THE NEW CONSTRUCTION DRAWINGS.	D22	REMOVE EXISTING ROOF MEMBRANE SYSTEM & ASSOCIATED FLASHING AND DISPOSE. PREPARE SURFACES TO RECEIVE NEW ROOF MEMBRANE SYSTEM AND FLASHING PER NEW CONSTRUCTION DRAWINGS. PROVIDE SLOPED ROOF PER NEW CONSTRUCTION DRAWINGS. SEE MPE FOR ADDITIONAL DEMO SCOPE.
D11	REMOVE ALL FLOORING THROUGHOUT THE FLOOR & DISPOSE. PROVIDE SLAB WITH SMOOTH FINISH.	D23	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF ROOF HATCH ON NEW CONSTRUCTION PLAN. PREPARE OPENING TO RECEIVE NEW ROOF HATCH SYSTEM.
D12	REMOVE ALL PLUMBING FIXTURES & REPLACE PER NEW CONSTRUCTION DRAWINGS.	D24	CUT EXISTING ROOF ASSEMBLY TO DIMENSIONS OF EXISTING ELEVATOR CHASE. PREPARE OPENING TO RECEIVE NEW ELEVATOR SYSTEM AS SPECIFIED.

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Date: 11-21-2022

Job #: 22021

Drawn: JDP

Mngr: CP/AG

Rev. No.

Name

Date

22021_Comp

WORK IN PROGRESS-2022-11-21

WASHINGTON LANE MIXED-USE

501 Washington Lane
501 Washington Lane Jenkintown,
Pennsylvania

A104

ROOF PLAN

[illegible]

WASHINGTON LANE MIXED-USE

501 Washington Lane
501 Washington Lane Jenkintown,
Pennsylvania

A301

EXTERIOR ELEVATIONS



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION

SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION

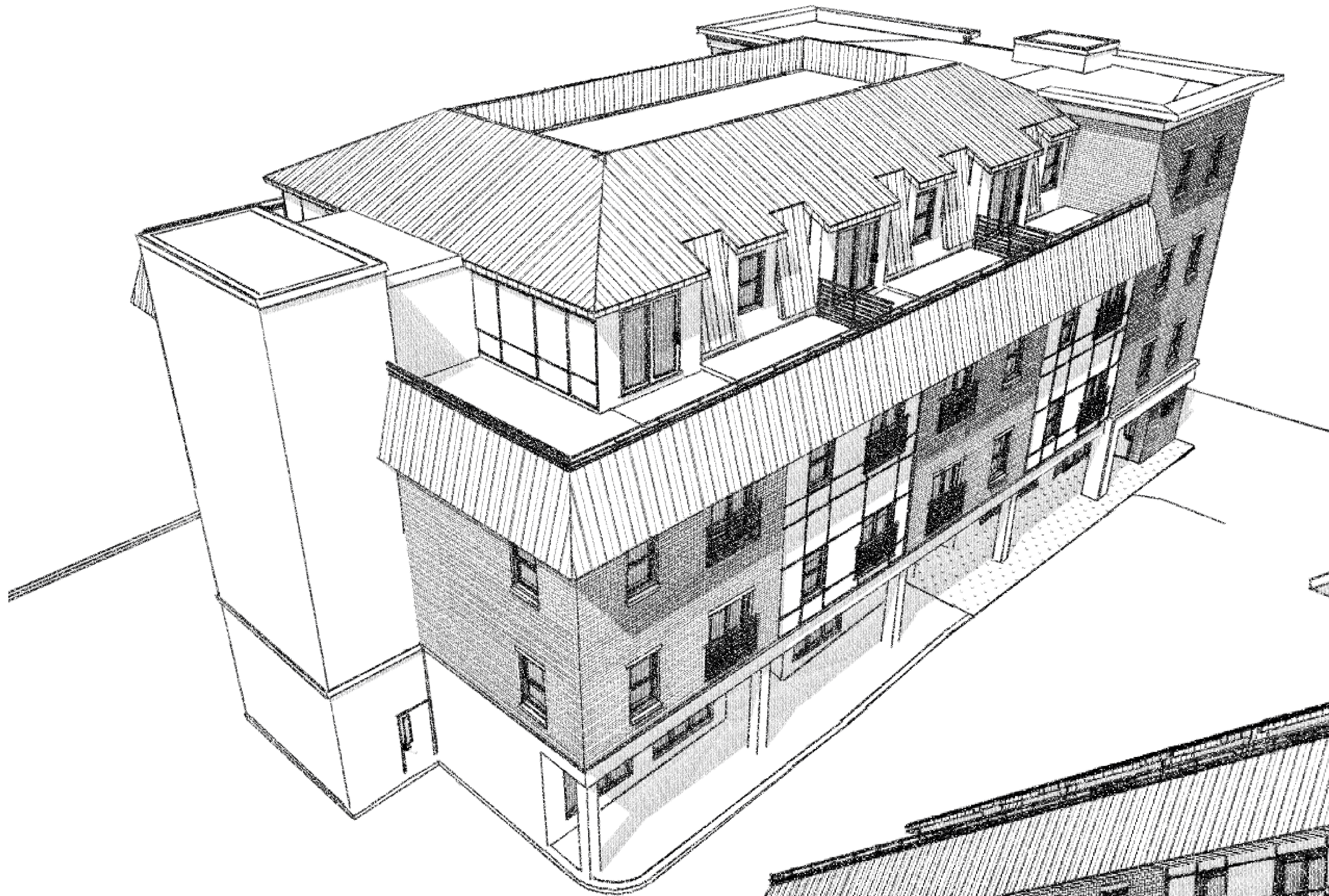
SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION NOTES	ELEVATION KEY NOTES	ELEVATION FINISH SCHEDULE	KEY PLAN	WORK IN PROGRESS
		<ul style="list-style-type: none"> A BRICK VENEER B THIN BRICK C STUCCO D ARCHITECTURAL WALL PANEL W/ METAL TRIM PROFILES E STANDING SEAM METAL F PERFORATED METAL SCREEN 		<div style="border: 1px solid black; padding: 5px; text-align: center;"> WASHINGTON 501 Washington 501 Washington Pennsylvania </div> <div style="border: 1px solid black; padding: 10px; text-align: center; margin-top: 10px;"> A301 EXTERIOR ELEVATIONS </div>



1 BIRD' EYE VIEW
NOT TO SCALE



2 PEDESTRIAN VIEW OF FRONT
NOT TO SCALE



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501 Washington Lane
501 Washington Lane Jenkintown,
Pennsylvania

SK-1

SKETCH VIEWS